

**ADDENDUM NO. 01**

**EIFS EXTERIOR WALL REPLACEMENT  
ED EDELMAN CHILDREN'S COURT – PHASE 1**

ED EDELMAN CHILDREN'S COURT  
201 CENTRAL PLAZZA DRIVE  
MONTEREY PARK, CA. 91745

JCC PROJECT NUMBER: REFM-2017-18-BD

JUDICIAL COUNCIL OF CALIFORNIA  
455 GOLDEN GATE AVE.  
SAN FRANCISCO, CA. 94102

February 5, 2018

DC ARCHITECTS  
820 N. MOUNTAIN AVENUE, SUITE 200  
UPLAND, CALIFORNIA 91786

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RICHARD D. DUNCAN, AIA, LICENSE #C-21818

1. PART 1 – GENERAL

1.1 THE FOLLOWING REVISIONS AND/OR CLARIFICATIONS SHALL BE MADE TO THE BIDDING REQUIREMENTS AND CONTRACT DOCUMENTS. REVISE AND AMEND THE DOCUMENTS FOR THE ABOVE NAMED PROJECT IN ACCORDANCE WITH THIS ADDENDUM. THE BID SHALL REFLECT THESE ADDENDUM CHANGES AND EACH BIDDER SHALL MAKE REFERENCE IN THEIR BID TO THIS ADDENDUM.

1.2 ALL BIDDING REQUIREMENTS AND CONTRACT DOCUMENTS SHALL APPLY TO THIS ADDENDUM AS ORIGINALLY INDICATED IN THE APPLICABLE PORTIONS OF THE CONTRACT DOCUMENTS, UNLESS OTHERWISE MODIFIED BY THIS ADDENDUM.

1.3 GENERAL CLARIFICATIONS

1.3.1 The following items are issued as responses to Pre-Bid Requests for Clarification submitted by the bidders:

1.3.1.1 See attached Bid Form for Vendor Submission of Questions “**Attachment 3 Scope of Work Questions and Clarifications**” which is bidder questions and answers. Total of 2 pages. Attached are revision # 4 drawings in response to the Vendors Work Questions and Clarifications. The clouded portions on the attached revision # 4 drawings are in response to the Vendors questions.

2. PART 2 – PLANS

2.1.1 The following Items are modifications to the plans as directed by the Architect and/or JCC.

2.1.1.1 NONE

3. PART 3 – PROJECT MANUAL

3.1 The following Items are modifications to the project manual as directed by the Architect and/or JCC.

3.1.1.1 NONE

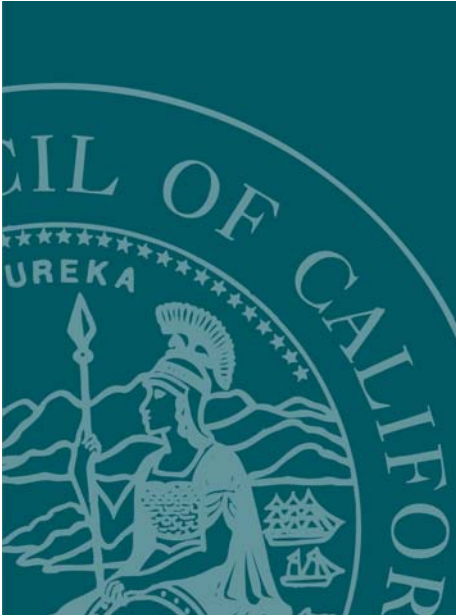
END OF ADDENDUM NO. 01 INCLUDING REFERENCED ENCLOSURES

**Total Number of Pages:** 5 including Bid Attachment 3 Scope of Work Questions and Clarifications  
**ENCLOSURES:**

**New Drawings:** 21 New Drawing Sheets

**New Specifications:** 0 Pages

**Previous Addendums:** NONE



## Attachment 3

# **Scope of Work Questions and Clarifications**

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## **EIFs Exterior Wall Replacement Ed Edelman Children's Court – Phase 1**

Superior Court of California,  
Los Angeles County – 19-Q1  
201 Centre Plaza Drive.  
Monterey Park, CA 91754

	#	Question	Answers
		<b><u>GENERAL CLAIRIFICATIONS</u></b>	
<b>A0.01 Phase 1 detail plans H2</b>	<b>A.</b>	Where to stop with the EIFs and Sealant when wrapping around on west side of the building?	<p>2018-01-30 SGH: Refer to Revision No. 4 drawings, A0.01. Based on the pre-bid job walk on 12 Jan. 2018, Phase 1 scope generally extends as follows to address constructability:</p> <ul style="list-style-type: none"> <li>• At the west facade, extend to just north of existing louvers near the south end.</li> <li>• At the south façade above the penthouse roof, incorporate a limited portion of the south face of the elevator tower to allow west façade coping replacement.</li> <li>• At the east above the 7<sup>th</sup> floor roof, hold back scope from the Phase 2 coping, to be replaced with Phase 2.</li> <li>• At the east above 2<sup>nd</sup> floor terrace, extend to include one window bay at the north façade.</li> </ul>
<b>1.2 1.2.1 1.2.1.1</b>	<b>B.</b>	Are <b>all</b> exterior door and windows included to receive new glazing wet seals?	<p>2018-01-30 SGH: Based on the pre-bid job walk on 12 Jan. 2018, all exterior windows, doors, and louvers should receive new perimeter wet seals, with new glazing seals where applicable. Phase 1 scope will generally include all windows / doors / louvers within the Phase 1 scope line. Refer to Revision No. 4 drawings A0.00, A0.01, A2.01, A2.02, A2.03, A2.04.</p>

#	Question	Answers
C.	Is there an allowance for the scaffold and drywall repairs as necessary?	<p><b><u>There is no allowance for scaffolding and drywall repair. See notation below which is found in the Scope of Work Section 011100.</u></b></p> <p><b><u>Scaffolding to Remain and Unit Pricing</u></b> The Contractor shall include in his bid a unit price to allow the Scaffolding to remain in place on a weekly basis.</p> <p><b><u>Additional Drywall Work to be Performed</u></b> On the bid documents indicated various areas where there is drywall patch and repair work. Any additional drywall patch and repair work than what was indicated on the drawings and or specified in the specifications, all additional drywall patch and repair work will be on a TIME &amp; MATERIAL (T&amp;M) basis with a maximum 15% mark-up for any subcontractor and a maximum of 10% mark-up for the General Contractor.</p>
D.	2/A301 "Shaped Preservative Treated Wood Blocking". PT material will lose factory treatment once milled to spec. Please advise on acceptable field treatment product to be used.	2018-02-05 SGH: Apply copper naphthenate preservative, containing minimum 2% copper (per AWWA Standard M4) to cut surfaces, drilled holes, notches, and etc. Multiple manufacturers may be acceptable; submit product data and SDS for proposed material.
E.	2/A301 Does not appear to have an attachment detail. Please advise on required attachment to top plate.	2018-02-05 SGH: Refer to specification section 06 10 00, para.'s 2.01.C and 3.02.
F.	Will all new exposed 24ga sheet metal flashings require paint to match building? I.e. head/drip flashings.	2018-02-05 SGH: Copings, exposed flashings and accessories (non-stainless steel) shall be prefinished per specification section 07 62 00, para. 2.04.D.
G.		

# EIFS EXTERIOR WALL REPLACEMENT

## EDMUND D. EDELMAN

### CHILDREN'S COURT

201 CENTRE PLAZA DRIVE,  
MONTEREY PARK, CA 91754

**SIMPSON GUMPERTZ & HEGER**  
Engineering of Structures  
and Building Enclosures

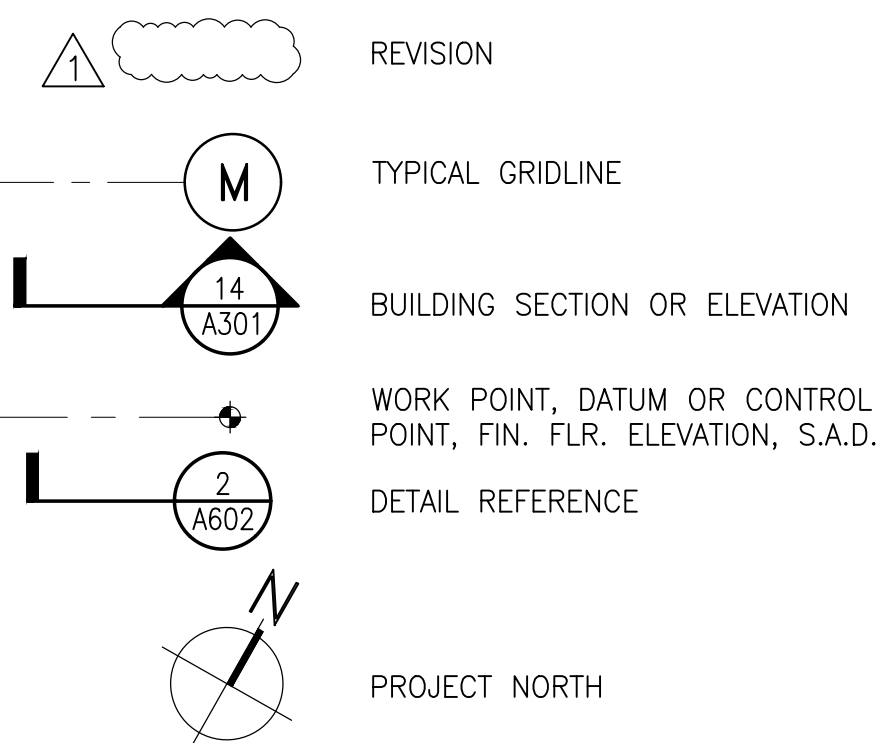
Simpson Gumpertz & Heger Inc.  
1150 S. Olive Street, Suite 1600  
Los Angeles, California 90015  
213.271.2000 fax: 213.617.0411  
www.sgh.com

Boston  
Los Angeles  
New York  
San Francisco  
Washington, DC

### General Notes

- Drawings generally reflect the existing building configuration based on Original Construction Drawings and observable conditions. All dimensions shall be verified in the field by the Contractor prior to start of work.
- Repair details represent typical conditions. For conditions other than those shown, notify Architect/Engineer. Atypical conditions will be addressed on a case-by-case basis.
- All work is to be in compliance with the 2014 County of Los Angeles Building Code, based on the 2013 California Building Code.
- Perform all repairs in compliance with applicable codes, laws and regulations of all authorities having jurisdiction over the work. Coordinate work with requirements set forth in project manual. If conflicts exist in the contract documents, contact Simpson Gumpertz & Heger Inc. (SGH) immediately for clarification.
- SGH will have a representative on site, part-time, to observe the construction for compliance with the design intent and to assist the Contractor in resolving variations in the existing construction. These construction documents address typical conditions, but it is anticipated that hidden conditions will be encountered during construction. SGH will observe all such hidden conditions, when notified of such conditions, and issue clarifications or modifications of the existing design to reflect those conditions and document all changes.
- Unless otherwise noted, all angles shall be right angles, all lines which appear parallel are parallel, and all items which appear centered are centered. Contractor is responsible for maintaining all lines true, level, plumb and square.
- In case of conflicts in the contract documents, contact SGH for clarification.
- Properly and permanently secure all attachments, connections or fastenings in conformance with the best practices of the building industry. Drawings show only special requirements to assist the Contractor and do not show every detail.
- Details shown in these drawings are typical and apply unless otherwise noted or shown. Not all conditions are fully detailed, employ similar construction methods for these conditions.
- Protect existing furnishings, fixtures, equipment and adjacent facilities from damage, whether interior or exterior. Replace any damaged items in kind.
- At all times the Contractor shall be solely responsible for conditions of the job site, including safety of persons and property, and all necessary independent engineering reviews of these conditions. The Engineer's review of work at the site is not intended to include review of the Contractor's safety measures.
- Do not scale drawings.
- Prior to demolition, field verify and document locations of all (E) sealant expansion joints and reveals in the EIFS cladding. Submit to Engineer for review.
- Prior to demolition, identify all types of attachments through and penetrations of (E) EIFS cladding. Submit to Engineer for review. Submit EIFS cladding shop drawings showing all attachments through and penetrations of cladding. Coordinate with all associated trades for attachment and penetration requirements.

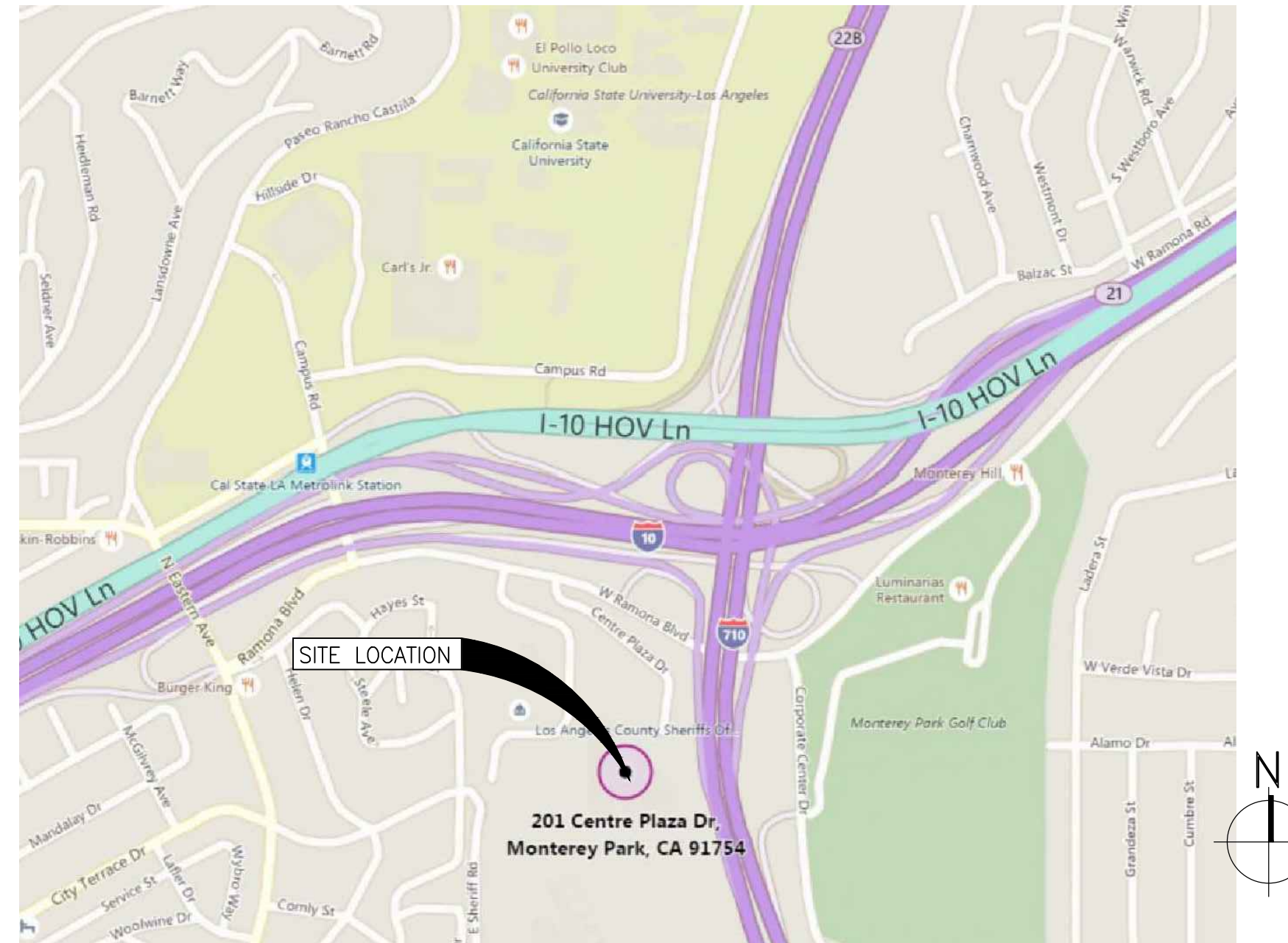
### Symbols



### Abbreviations

&	And	MAX.	Maximum
@	At	M.B.	Machine Bolt
A.A.	Adhesive Anchor	MECH.	Mechanically
A.B.	Anchor bolt	MFR.	Manufacturer
ADD'L	Additional	M.I.	Malleable Iron
AFF	Above Finished Floor	MIL.	Millimeter
AL	Aluminum	MIN.	Minimum
ALT.	Alternate	MISC.	Miscellaneous
ARCH.	Architect	(N)	New
ASTM	American Society for Testing and Materials	N.I.C	Not In Contract
		NO.#	Number
		N.S.	Near Side
		N.T.S.	Not to Scale
		NWT	Normalweight
BLKG.	Blocking	O/	Over
BM.	Beam	O.C.	On Center
BOTT.	Bottom	O.D.	Outside Diameter
BRC.	Bearing	O.H.	Opposite Hand
B.S.	Both Sides	OPNG.	Opening
BTWN.	Between	OPP.	Opposite
		OSB	Oriented Strand Board
CFM	Cubic Feet per Minute	PART.	Partial
C.J.	Control Joint	PL.	Plate
C.I.P.	Cast-in-place	PLY.	Plywood
C.L.	Center Line	PL	Property Line
CLC.	Ceiling	RAD.	Radius
CLR.	Clear	R.D.	Roof Drain
COL.	Column	REINF.	Reinforcing
CONC.	Concrete	REQ.	Required
CONN.	Connection	RF.	Roof
CONT.	Continuous	R.O.	Rough Opening
CTR.	Center	RND.	Round
		R.R.	Remove & Replace
DBL.	Double	S.A.D.	See Architectural Drawings
DET.	Detail	SAF	Self Adhering
DF	Douglas Fir	SASM	Self-adhered Sheet Membrane
DIA.Ø	Diameter	SCHED.	Schedule
DIAG.	Diagonal	SHT.	Sheet
DN	Down	SHTG.	Sheathing
DWG(S)	Drawing(s)	SIM.	Similar
(E)	Existing	SIS	Sound Isolation Sheet
EA.	Each	SM	Sheet Metal
E.A.	Each Face	S.M.D.	See Mechanical Drawings
EIFS	Exterior Insulation and Finish System	S.O.G.	Slab on Grade
E.J.	Expansion Joint	S.P.	Southern Pine
ELEV.,EL.	Elevation	S.S.	Stainless Steel
EMB.,EMBED.	Embedment	STAGG'D.	Staggered
EQ.	Equipment	STD.	Standard
EQUIP.	Equipment	STIFF.	Stiffener
E.W.	Each Way	STL.	Steel
EXT.	Exterior	STRUCT.	Structural
		SYMM.,SYM.	Symmetrical
FDN.	Foundation	T&B	Top and Bottom
F.F.	Finish Floor	T&G	Tongue & Groove
F.G.	Finish Grade	TEMP.	Temperature
FHS	Flat Head Screw	T.O.C.	Top of Concrete
FIN.	Finish	T.O.P.	Top of Plywood
F.O.C.	Face of Concrete	T.O.S.	Top of Steel
F.O.M.	Face of Masonry	T.O.W.	Top of Wall
F.O.S.	Face of Stud	TS	Tube Steel
F.R.S.	Finished Roof Surface	TYP.	Typical
GA.	Gauge	U.O.N.	Unless Otherwise Noted
GAUV.	Galvanized	VERT.	Vertical
G.L.	Grid Line	V.I.F., ±	Verify in Field
GSM	Galvanized Sheet Metal	W/	With
HGR.	Hanger	W.P.	Working Point
HORIZ.	Horizontal	W.H.S.	Welded Headed Stud
HT.	Height	WRB	Weather-Resistive Barrier
ICBO	International Council of Building Officials	W.T.S.	Welded Threaded Stud
INT.	Interior	W.W.F.	Welded Wire Fabric
INV.	Inverted		
JST.	Joist		
L.H.	Long Leg Horizontal		
L.V.	Long Leg Vertical		
LWT	Lightweight		
L.V.L.	Laminated Veneer Lumber		

### Vicinity Map



- Partial List of Applicable Codes**
- 2013 California Administrative Code, Part 1, Title 24 C.C.R.\*
  - 2013 California Building Code (CBC), Part 2, Title 24 C.C.R. (2012 International Building Code Volumes 1-2 and 2013 California Amendments)
  - 2013 California Electrical Code (CEC), Part 3, Title 24 C.C.R. (2011 National Electrical Code and 2013 California Amendments)
  - 2013 California Mechanical Code (CMC), Part 4, Title 24 C.C.R. (2012 Uniform Mechanical Code and 2013 California Amendments)
  - 2013 California Plumbing Code (CPC), Part 5, Title 24 C.C.R. (2012 Uniform Plumbing Code and 2013 California Amendments)
  - 2013 California Energy Code (CEC), Part 6, Title 24 C.C.R.
  - 2013 California Fire Code, Part 9, Title 24 C.C.R. (2012 International Fire Code and 2013 California Amendments)
  - 2013 California Green Building Standards Code, Part 11, Title 24 C.C.R.
  - Title 19 C.C.R., Public Safety, State Fire Marshal Regulations.
  - 2007 ASME A17.1 (w/A17.1a/CSA B44a-08 addenda) Safety Code For Elevators and Escalators

#### (E) Building Information (For Reference Only)

- Occupancy Type B
- Construction Type 1A
- Building Area: 275,530 SF
- Building Height: 130.5', 7 stories

#### Special Inspections

Owner shall engage a qualified independent inspection agency to perform the following Special Inspection in accordance with Section 1704 of the County of Los Angeles Building Code:

- Material:** Water resistive barrier coating complying with ASTM E 2570 installed over sheathing substrate.
- Type:** Visual inspection to verify surface preparation and coating application in accordance with the manufacturer's printed instructions and the Construction Documents.
- Frequency:** Periodic inspections appropriate to the stage of construction.

#### Energy Notes:

Replacement EIFS will be minimum 2½" thick and will match the thickness of the existing EIFS to be removed, with equivalent or greater R-value.

#### Cal Green Notes

Construction Contractor shall recycle and/or salvage for re-use a minimum 65% of the non-hazardous demolition and construction debris in accordance with the section 5.408.1 of the County of Los Angeles Green Building Standards Code. Contractor shall submit a Recycling and Reuse Plan with the County of Los Angeles Department of Public Works, indicating material volume to be recycled/reused or disposed of, and waste management facilities to be used. Contractor shall submit a Final Compliance Report to the County of Los Angeles Department of Public Works upon completion of the Project.

### Project Information

**PROJECT ADDRESS:** 201 Central Plaza Drive, Monterey Park, CA 91754

**OWNER:** Judicial Council of California  
455 Golden Gate Ave.  
San Francisco, CA 94102  
(909) 940-6100

**OWNER'S PROJECT MANAGER:** Office of Real Estate and Facilities Management  
Judicial Council of California  
2860 Gateway Oaks Dr., Suite 400  
Sacramento, CA 95833  
Contact: Tim O'Connor (916) 263-6694

**ARCHITECT:** DC Architects  
830 North Mountains Ave., Suite 200  
Upland, CA 91786  
Contact: Henry Sylvia (909) 985-6939

**ENGINEER:** Simpson Gumpertz & Heger Inc.  
1150 S. Olive Street, Suite 1600  
Los Angeles, California 90015  
Contact: Amy Hackney (213) 271-2000

### Scope of Work

- Phase 1-2**
- Removal and replacements of Existing Exterior Insulation and Finish System (EIFS) including Exterior Sheathing and Sealant Joints.
  - Application of glazing perimeter sealant at all windows, doors, & louvers.
- Phase 3**
- Application of Elastomeric Coating to Existing Exterior Cement Plaster.

### Drawing Index

A0.00	TITLE SHEET & GENERAL NOTES
A0.01	PHASING PLANS & NOTES
A1.00	SITE PLAN (FOR REFERENCE ONLY)
A1.01	COMPOSITE PLAN
D2.01	DEMOLITION NORTH ELEVATION
D2.02	DEMOLITION EAST ELEVATION
D2.03	DEMOLITION SOUTH ELEVATION
D2.04	DEMOLITION WEST ELEVATION
A2.01	NORTH ELEVATION
A2.02	EAST ELEVATION
A2.03	SOUTH ELEVATION
A2.04	WEST ELEVATION
A2.11	PARTIAL ELEVATIONS
A2.12	PARTIAL ELEVATIONS
A2.13	PARTIAL ELEVATIONS
A3.01	EXTERIOR WALL DETAILS
A3.02	EXTERIOR WALL DETAILS
A3.03	EXTERIOR WALL DETAILS
A3.04	EXTERIOR WALL DETAILS
A3.05	EXTERIOR WALL DETAILS
A3.06	EXTERIOR WALL DETAILS

Consultant

No.	Date	Description	By
1	01/30/18	Prebid RFI #1	ALH
3	11/20/17	Bid Set	ALH
2	07/20/16	Plan Check Re-Submission	ALH
1	04/18/16	Plan Check Submission	ALH
0	03/25/16	90% Progress Print for Owner Review	ALH

**EIFS EXTERIOR WALL REPLACEMENT**  
**EDMUND D. EDELMAN**  
**CHILDREN'S COURT**  
**201 CENTRE PLAZA DRIVE**  
**MONTEREY PARK, CA 91754**

**TITLE SHEET & GENERAL NOTES**

Drawing Title

Project	158008.01	Checked	RNU	Date	01/30/18
Drawn	PA	Approved	ALH	Scale	AS NOTED
Drawing No.					<b>A0.00</b>
Seal					

Consultant

No.	Date	Description	By
01/30/18		Prebid RFI #1	ALH
3	11/20/17	Bid Set	ALH
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0	03/25/16	90% Progress Print for Owner Review	ALH

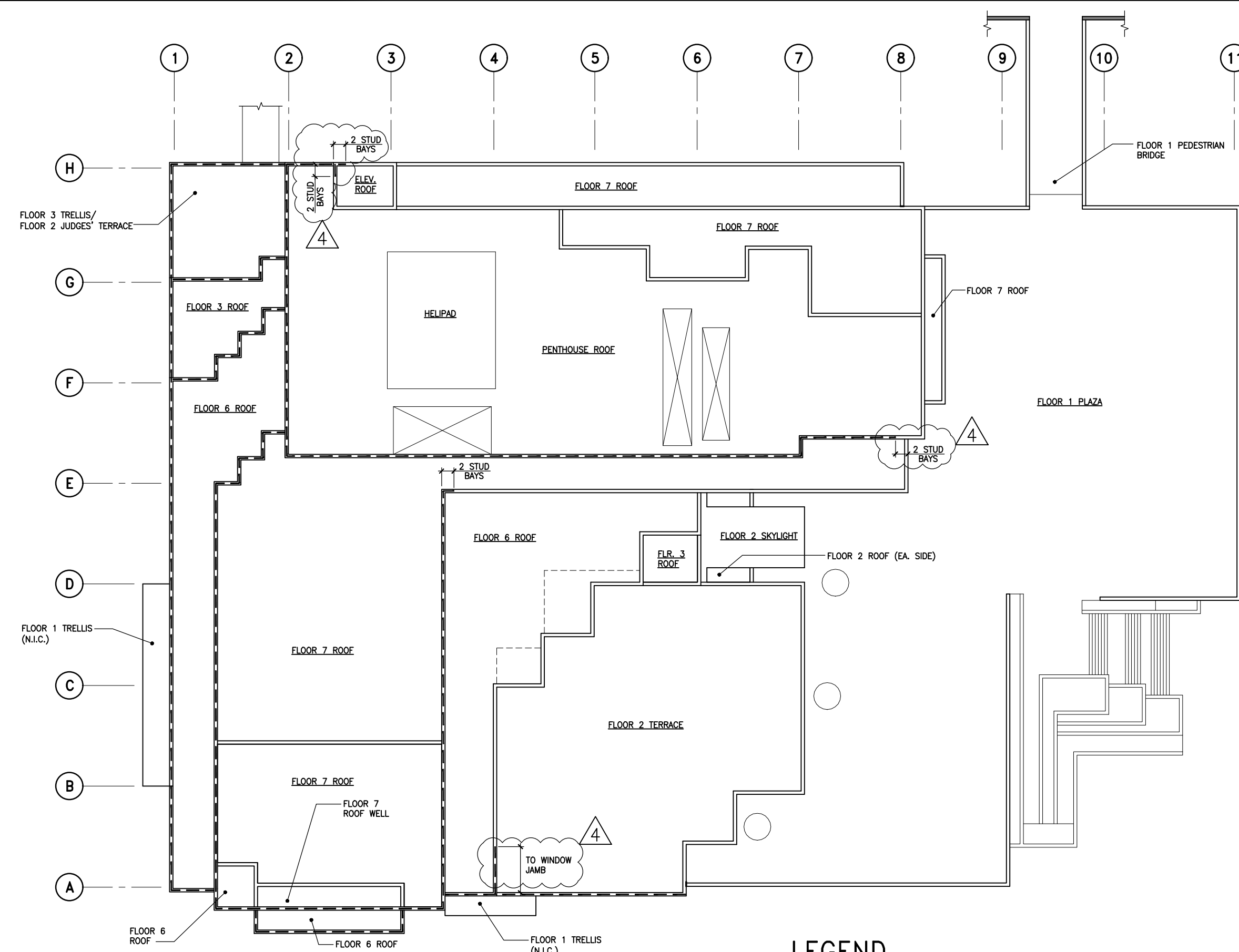
**EIFS EXTERIOR WALL  
REPLACEMENT  
EDMUND D. EDELMAN  
CHILDREN'S  
COURT**  
201 CENTRE PLAZA DRIVE  
MONTEREY PARK, CA 91754  
Project

**PHASING PLANS  
AND NOTES**

Drawing Title		
Project 158008.01	Checked RNU	Date 01/30/18
Drawn PA	Approved ALH	Scale AS NOTED

Seal

Drawing No.  
**A0.01**

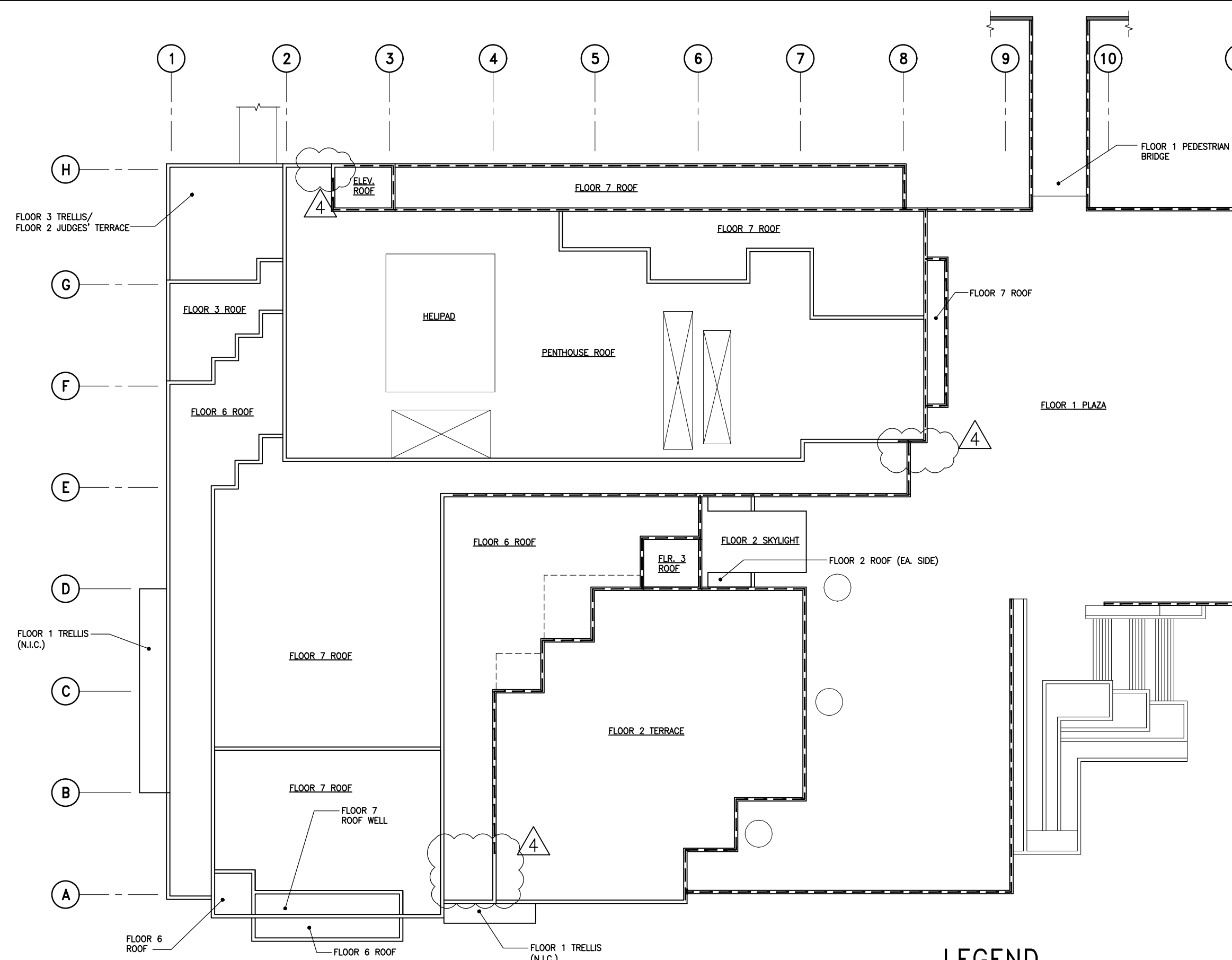
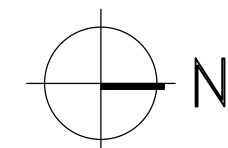


**LEGEND**

--- INDICATES APPROXIMATE EXTENT OF PHASE SCOPE AT FACADES, COPINGS, AND WINDOWS.

**1 PHASE 1: EIFS AND SEALANT**

SCALE: N.T.S.

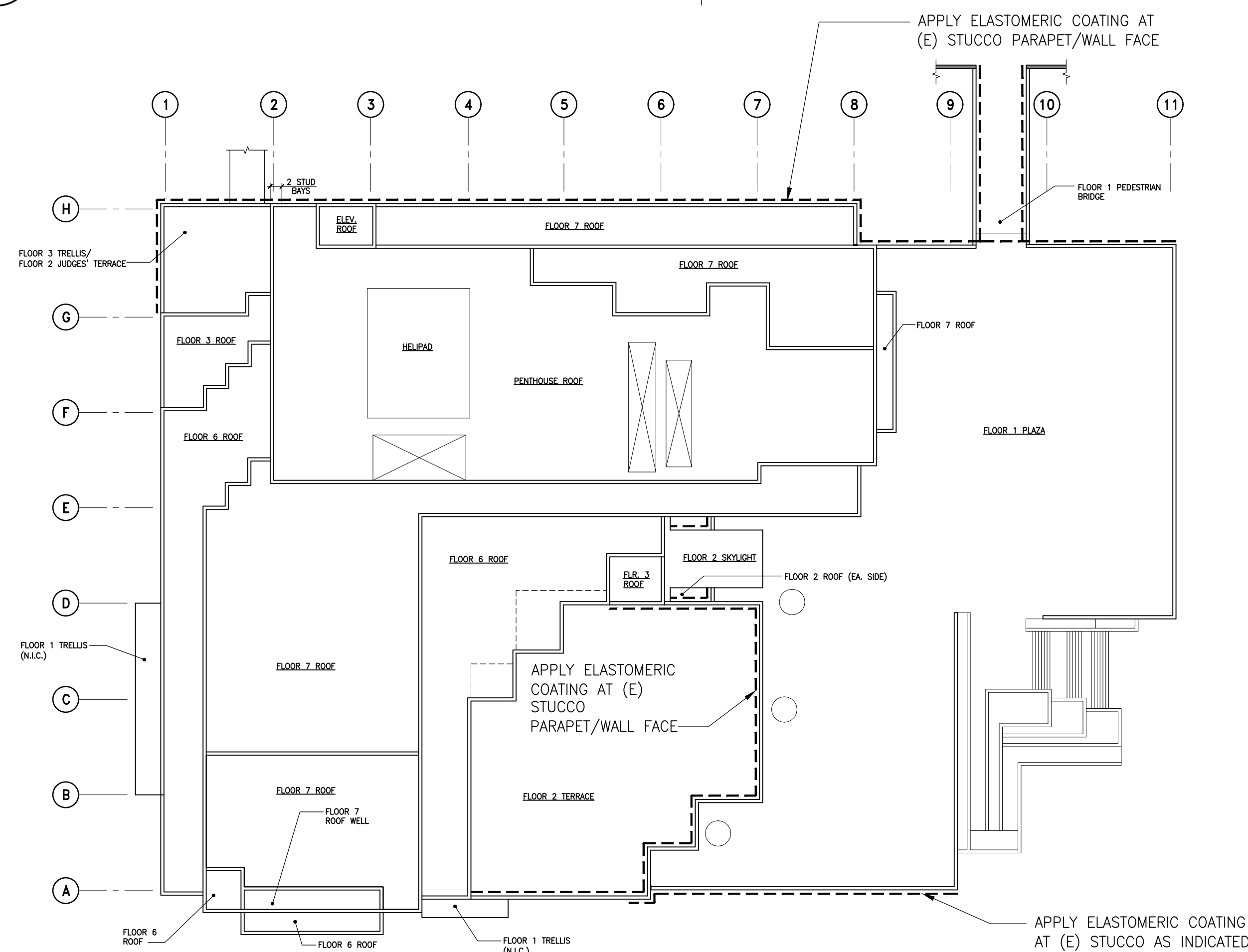
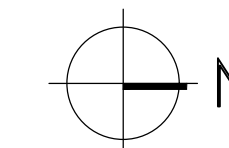


**LEGEND**

--- INDICATES APPROXIMATE EXTENT OF PHASE SCOPE AT FACADES, COPINGS, AND WINDOWS.

**2 PHASE 2: EIFS AND SEALANT**

SCALE: N.T.S.

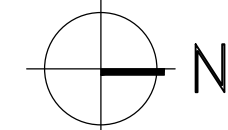


**LEGEND**

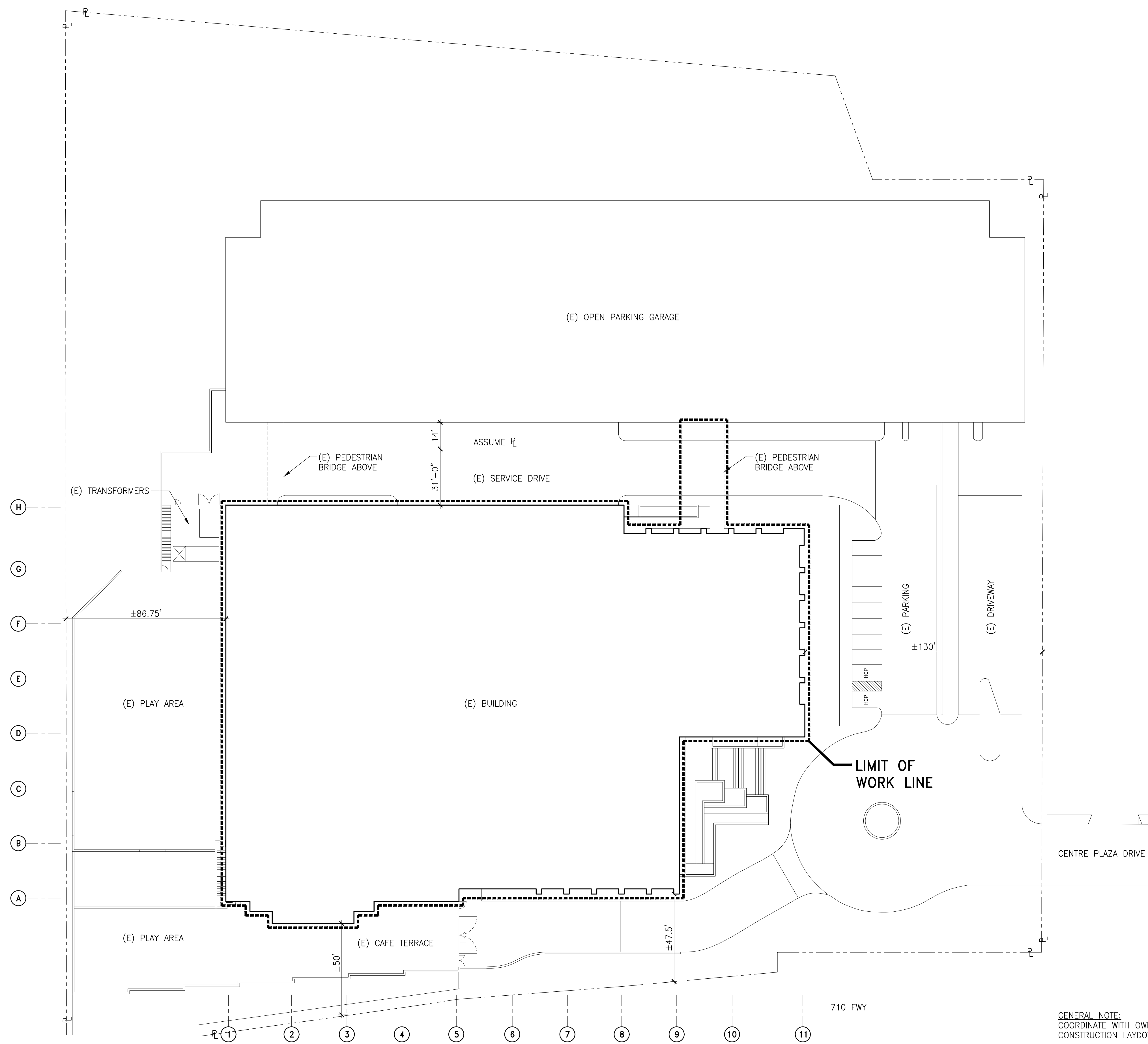
--- INDICATES APPROXIMATE EXTENT OF PHASE SCOPE AT FACADES.

**3 PHASE 3: ELASTOMERIC COATING**

SCALE: N.T.S.



Consultant



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No.	Date	Description	By
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2	07/20/16	Plan Check Re-Submission	ALH
3	11/20/17	Bid Set	ALH
01/30/18		Prebid RFI #1	ALH

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 Project

**SITE PLAN  
 (FOR REFERENCE ONLY)**

Drawing Title		
Project 158008.01	Checked RNU	Date 01/30/18
Drawn PA	Approved ALH	Scale AS NOTED

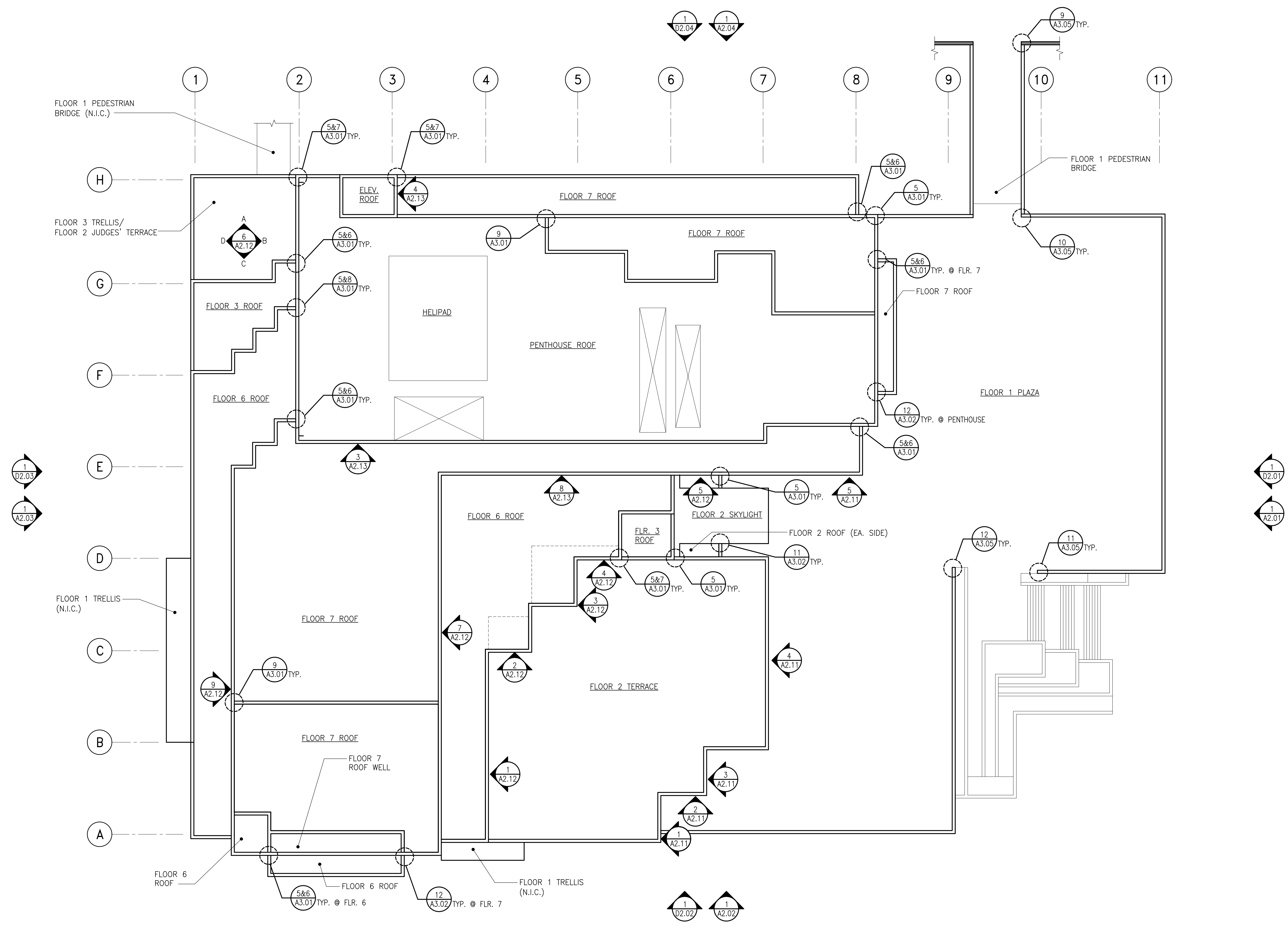
Drawing No.  
**A1.00**

**1 SITE PLAN**  
 APPROX. SCALE: 1"=30'-0"  
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Consultant



**1 COMPOSITE PLAN** SCALE: 1/16"=1'-0"

No.	Date	Description	By
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3	11/20/17	Bid Set	ALH
2	07/20/16	Plan Check Re-Submission	ALH
1	04/18/16	Plan Check Submission	ALH
0	03/25/16	90% Progress Print for Owner Review	ALH

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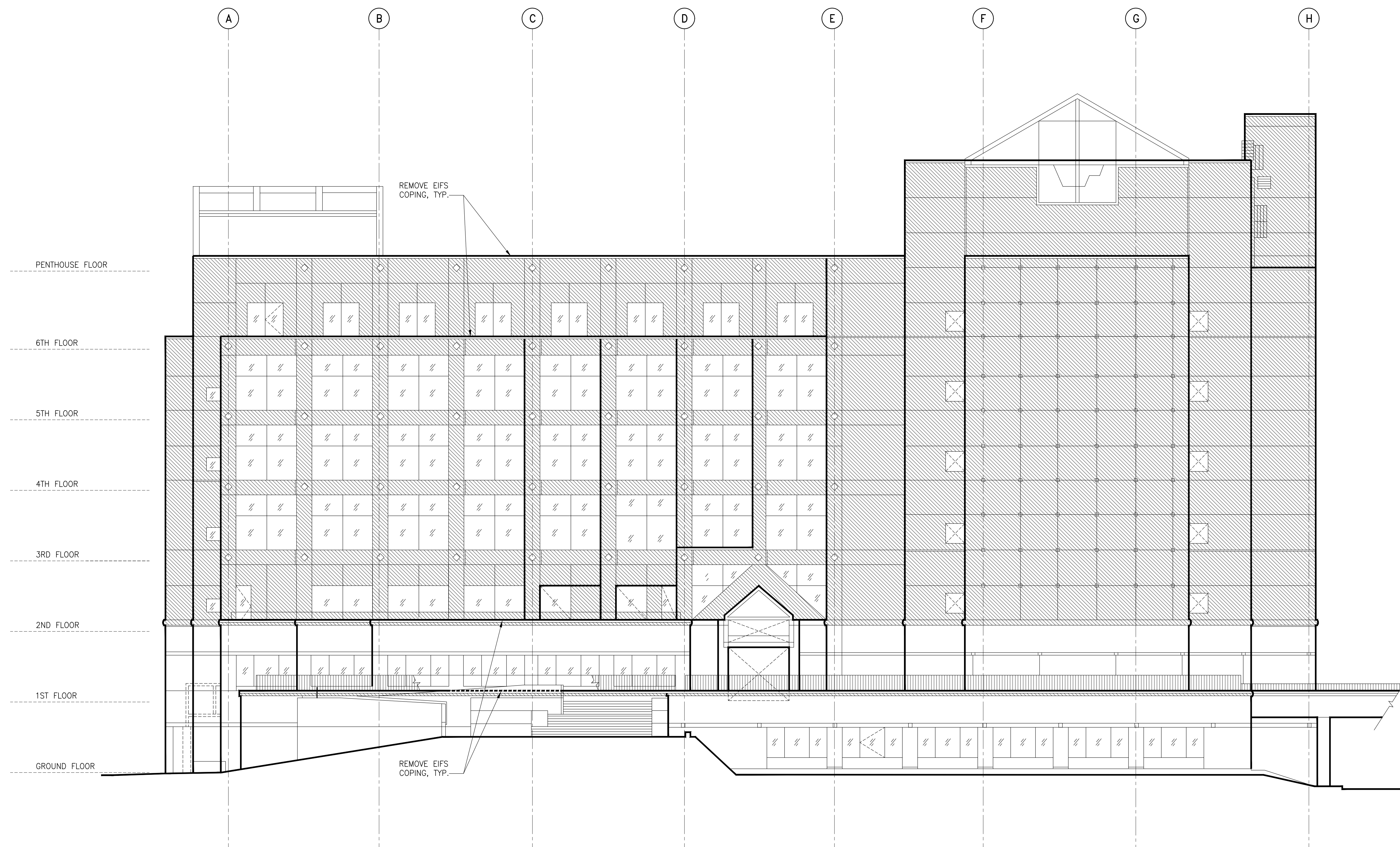
**COMPOSITE PLAN**

Drawing Title

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Drawn PA	Approved ALH	Scale AS NOTED
Drawing No. <b>A1.01</b>		

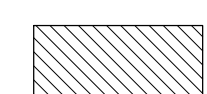
Seal

Consultant



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**1 DEMOLITION - NORTH ELEVATION**  
 APPROX. SCALE: 1"=10'-0"

**LEGEND**  
 REMOVE (E) EIFS AND EXTERIOR SHEATHING

No.	Date	Description	By
3	01/30/18	Prebid RFI #1	ALH
2	11/20/17	Bid Set	ALH
1	07/20/16	Plan Check Re-Submission	ALH
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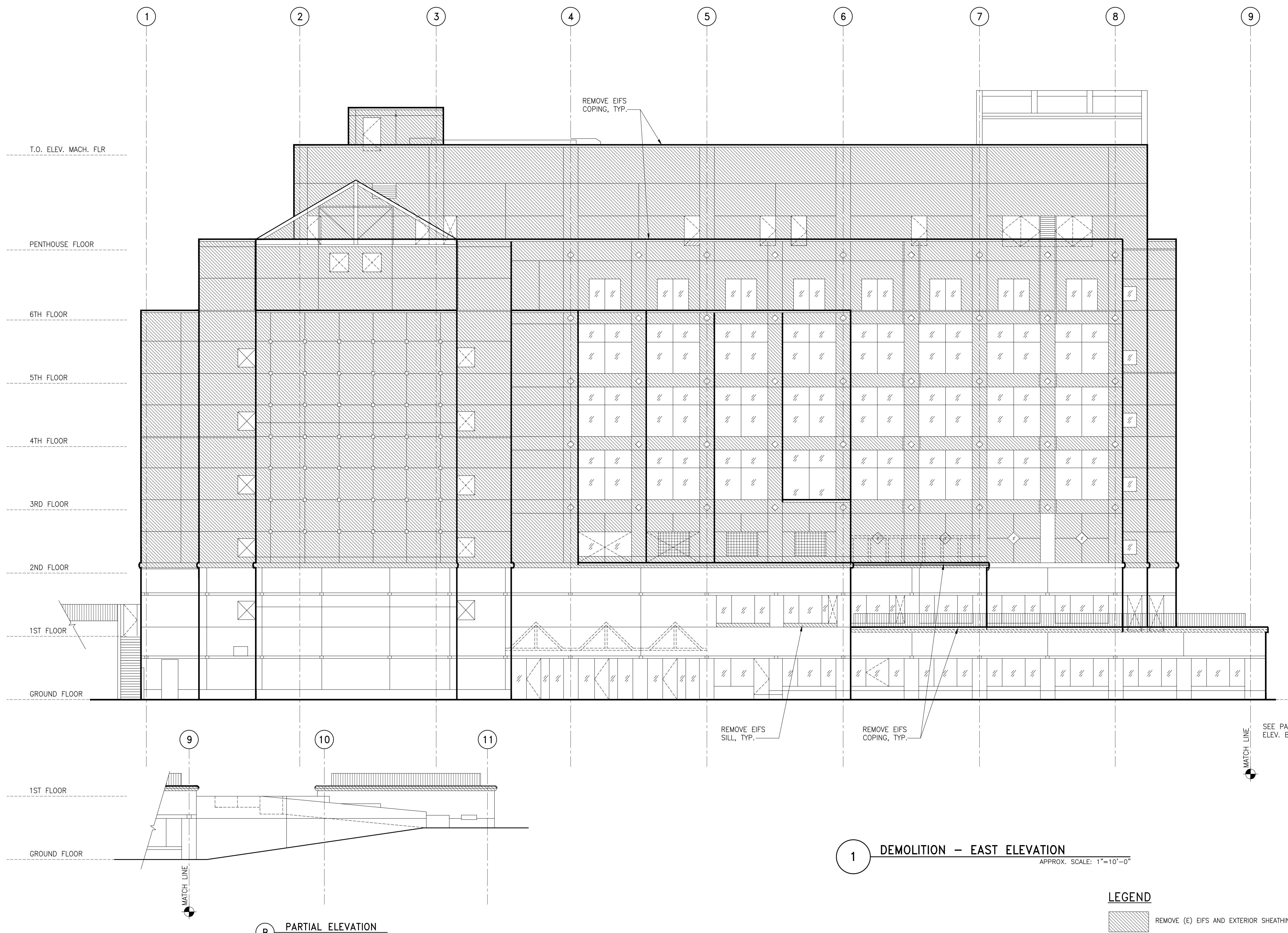
**DEMOLITION  
 NORTH ELEVATION**  
 Drawing Title

Project 158008.01	Checked RNU	Date 01/30/18
Drawn PA	Approved ALH	Scale AS NOTED

Seal

Drawing No.  
**D2.01**

Consultant



No.	Date	Description	By
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2	07/20/16	Plan Check Re-Submission	ALH
3	11/20/17	Bid Set	ALH
△	01/30/18	Prebid RFI #1	ALH

**EIFS EXTERIOR WALL  
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EDMUND D. EDELMAN  
CHILDREN'S  
COURT**  
201 CENTRE PLAZA DRIVE  
MONTEREY PARK, CA 91754

**DEMOLITION  
EAST ELEVATION**

**1 DEMOLITION - EAST ELEVATION**  
APPROX. SCALE: 1"=10'-0"

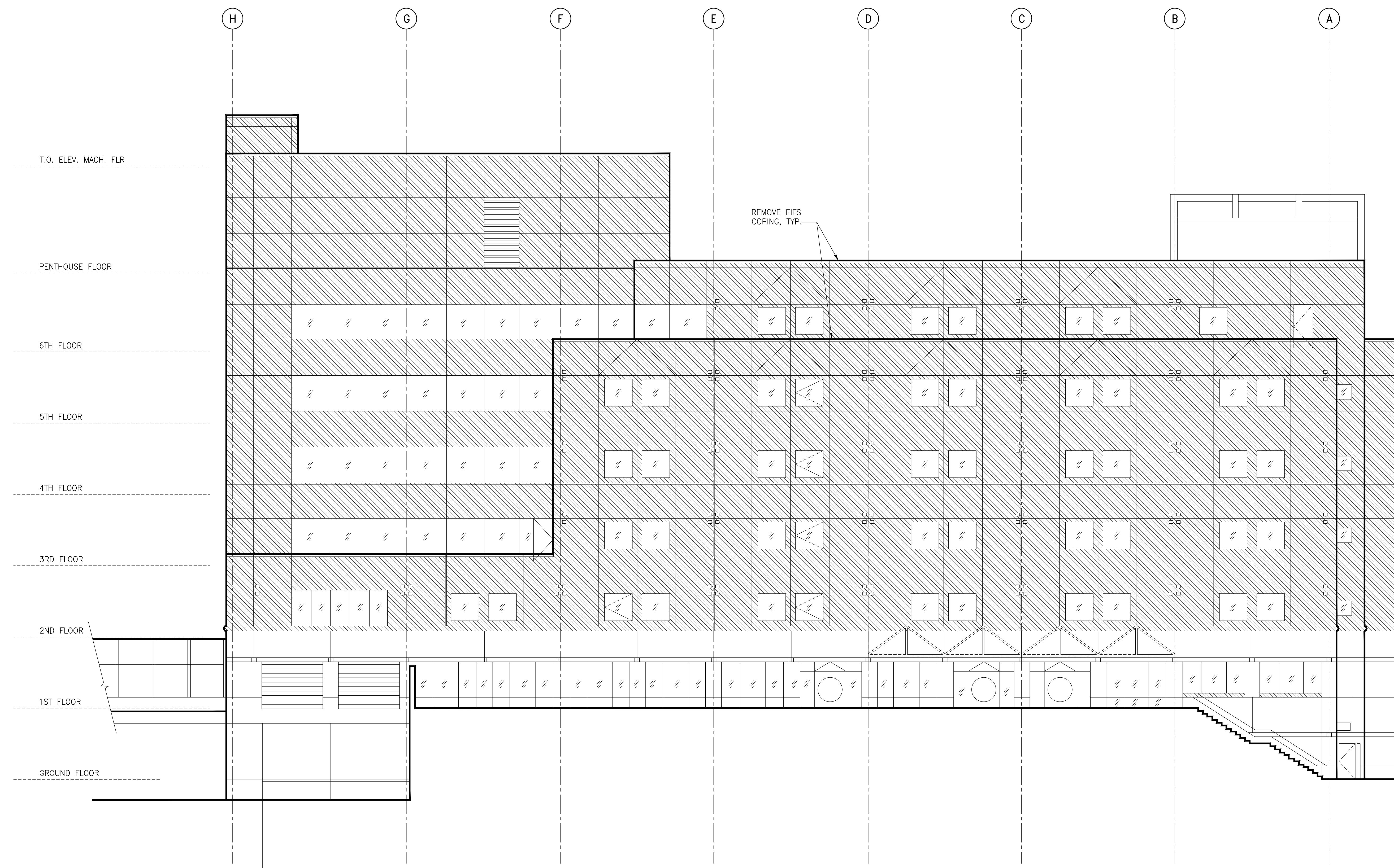
**LEGEND**  
[Hatched Box] REMOVE (E) EIFS AND EXTERIOR SHEATHING

Project 158008.01	Checked RNU	Date 01/30/18
Drawn PA	Approved ALH	Scale AS NOTED

Drawing No.  
**D2.02**

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Consultant



No.	Date	Description	By
3	01/30/18	Prebid RFI #1	ALH
3	11/20/17	Bid Set	ALH
2	07/20/16	Plan Check Re-Submission	ALH
1	04/18/16	Plan Check Submission	ALH
0	03/25/16	90% Progress Print for Owner Review	ALH

**EIFS EXTERIOR WALL  
REPLACEMENT  
EDMUND D. EDELMAN  
CHILDREN'S  
COURT**  
201 CENTRE PLAZA DRIVE  
MONTEREY PARK, CA 91754  
Project

**DEMOLITION  
SOUTH ELEVATION**  
Drawing Title

**1 DEMOLITION - SOUTH ELEVATION**  
APPROX. SCALE: 1"=10'-0"

**LEGEND**  
[Hatched Box] REMOVE (E) EIFS AND EXTERIOR SHEATHING

Project 158008.01	Checked RNU	Date 01/30/18
Drawn PA	Approved ALH	Scale AS NOTED
Drawing No. <b>D2.03</b>		

I:\LA\Projects\2015\158008.01-EDEL\Drawings\Working\_Sets\D2.01.dwg 1-30-18 10:35:55 AM parfos

Consultant

No.	Date	Description	By
0	03/25/16	90% Progress Print for Owner Review	ALH
1	04/18/16	Plan Check Submission	ALH
2	07/20/16	Plan Check Re-Submission	ALH
3	11/20/17	Bid Set	ALH
4	01/30/18	Prebid RFI #1	ALH

**EIFS EXTERIOR WALL  
REPLACEMENT  
EDMUND D. EDELMAN  
CHILDREN'S  
COURT**  
201 CENTRE PLAZA DRIVE  
MONTEREY PARK, CA 91754  
Project

**DEMOLITION  
WEST ELEVATION**

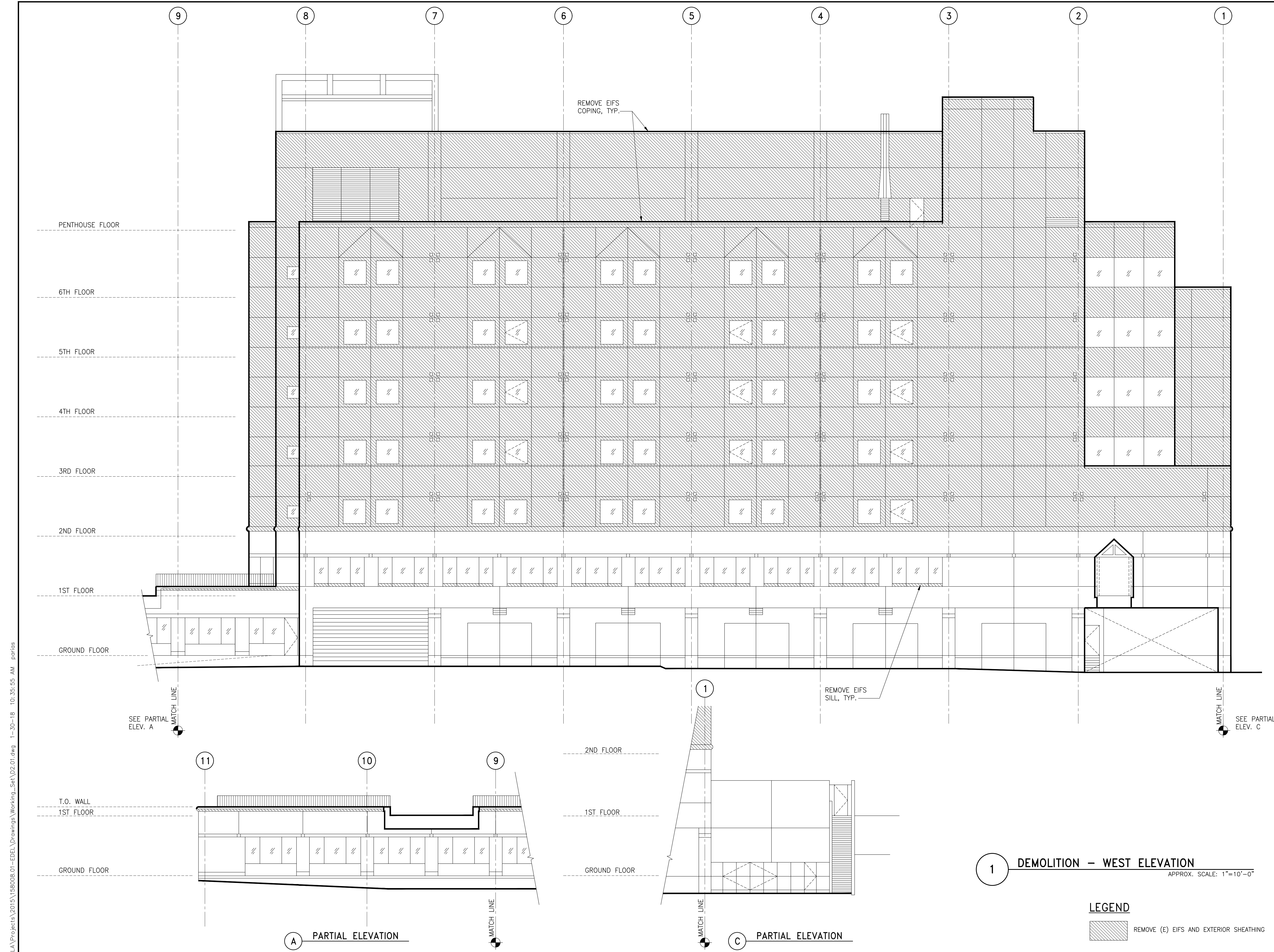
Drawing Title

Project 158008.01	Checked RNU	Date 01/30/18
Drawn PA	Approved ALH	Scale AS NOTED

Drawing No.

**D2.04**

Seal

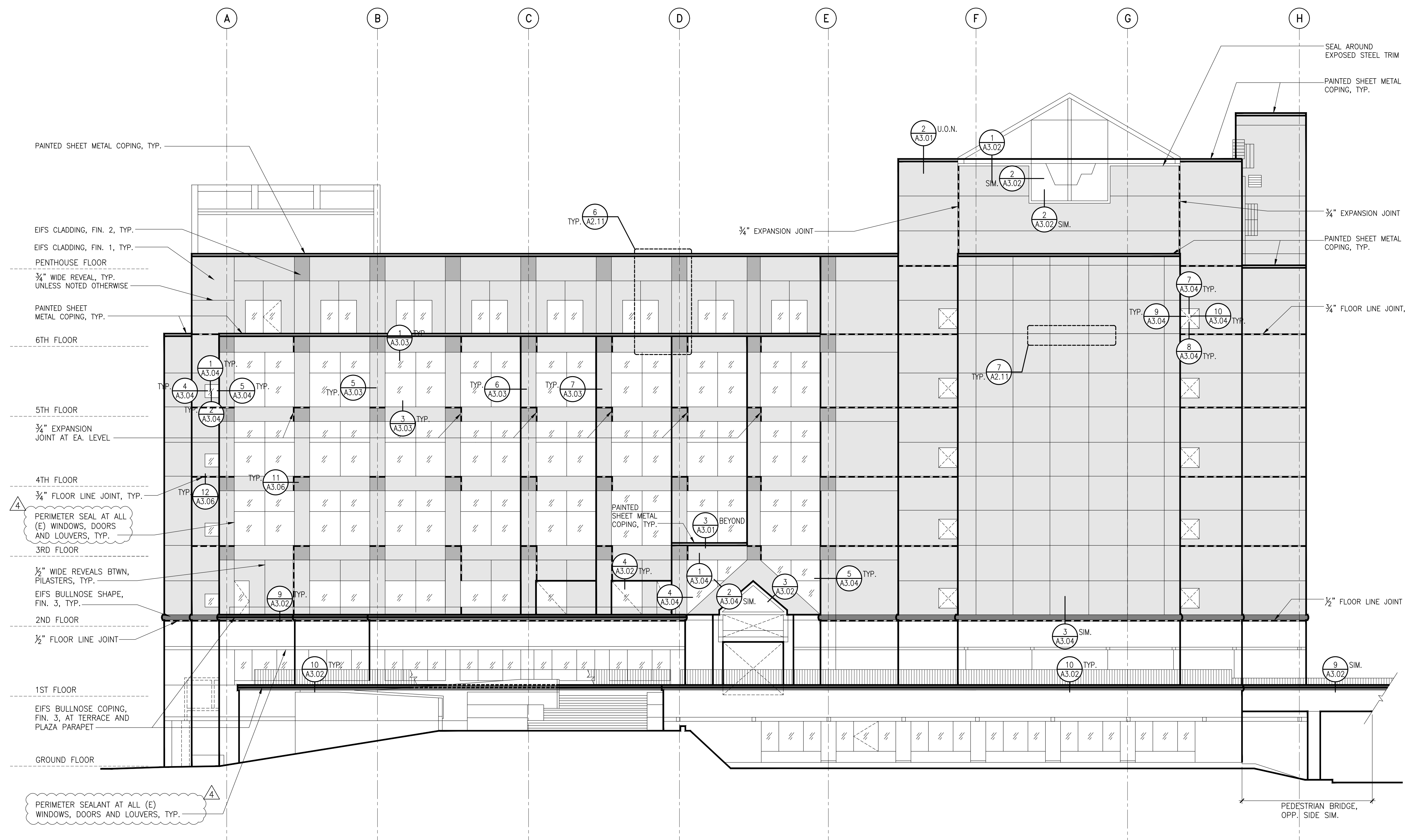


**1 DEMOLITION - WEST ELEVATION**  
APPROX. SCALE: 1"=10'-0"

**LEGEND**  
REMOVE (E) EIFS AND EXTERIOR SHEATHING

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Consultant



1 NORTH ELEVATION  
APPROX. SCALE: 1"=10'-0"

LEGEND

- FIN. 1: TO BE DETERMINED
- FIN. 2: TO BE DETERMINED
- FIN. 3: TO BE DETERMINED
- ELASTOMERIC COATING AT (E) STUCCO (PHASE 3)

No.	Date	Description	By
0	03/25/16	90% Progress Print for Owner Review	ALH
1	04/18/16	Plan Check Submission	ALH
2	07/20/16	Plan Check Re-Submission	ALH
3	11/20/17	Bid Set	ALH
4	01/30/18	Prebid RFI #1	ALH

**EIFS EXTERIOR WALL  
REPLACEMENT  
EDMUND D. EDELMAN  
CHILDREN'S  
COURT**  
201 CENTRE PLAZA DRIVE  
MONTEREY PARK, CA 91754

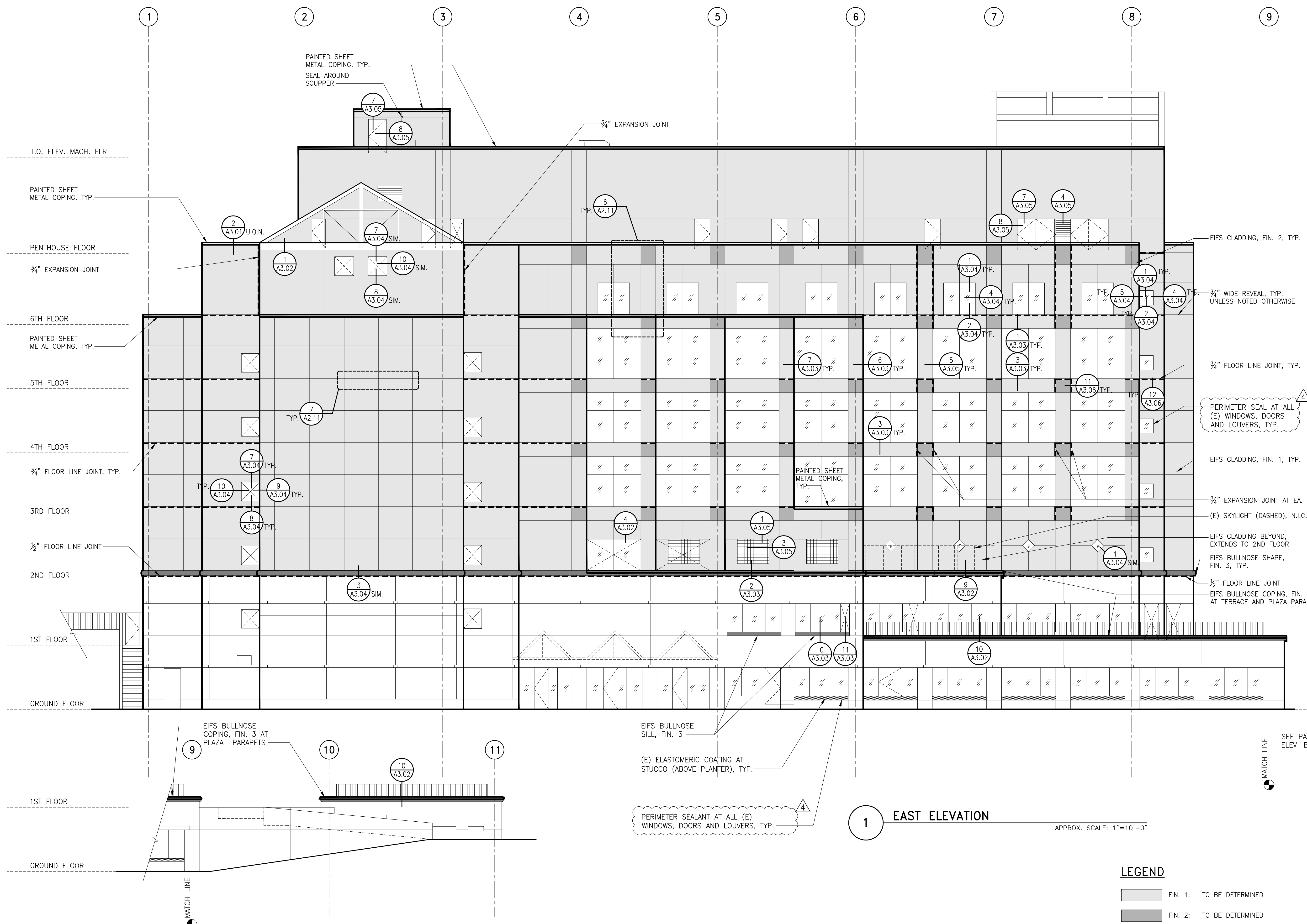
**NORTH ELEVATION**  
Drawing Title

Project 158008.01	Checked RNU	Date 01/30/18
Drawn PA	Approved ALH	Scale AS NOTED

Drawing No.  
**A2.01**

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Consultant



No.	Date	Description	By
01/30/18		Prebid RFI #1	ALH
3	11/20/17	Bid Set	ALH
2	07/20/16	Plan Check Re-Submission	ALH
1	04/18/16	Plan Check Submission	ALH
0	03/25/16	90% Progress Print for Owner Review	ALH

**EIFS EXTERIOR WALL REPLACEMENT**  
**EDMUND D. EDELMAN CHILDREN'S COURT**  
201 CENTRE PLAZA DRIVE  
MONTEREY PARK, CA 91754

**EAST ELEVATION**

Drawing Title

Project 158008.01	Checked RNU	Date 01/30/18
Drawn PA	Approved ALH	Scale AS NOTED

Drawing No.  
**A2.02**

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Consultant

No.	Date	Description	By
0	03/25/16	90% Progress Print for Owner Review	ALH
1	04/18/16	Plan Check Submission	ALH
2	07/20/16	Plan Check Re-Submission	ALH
3	11/20/17	Bid Set	ALH
01/30/18		Prebid RFI #1	ALH

**EIFS EXTERIOR WALL  
REPLACEMENT  
EDMUND D. EDELMAN  
CHILDREN'S  
COURT**  
201 CENTRE PLAZA DRIVE  
MONTEREY PARK, CA 91754  
Project

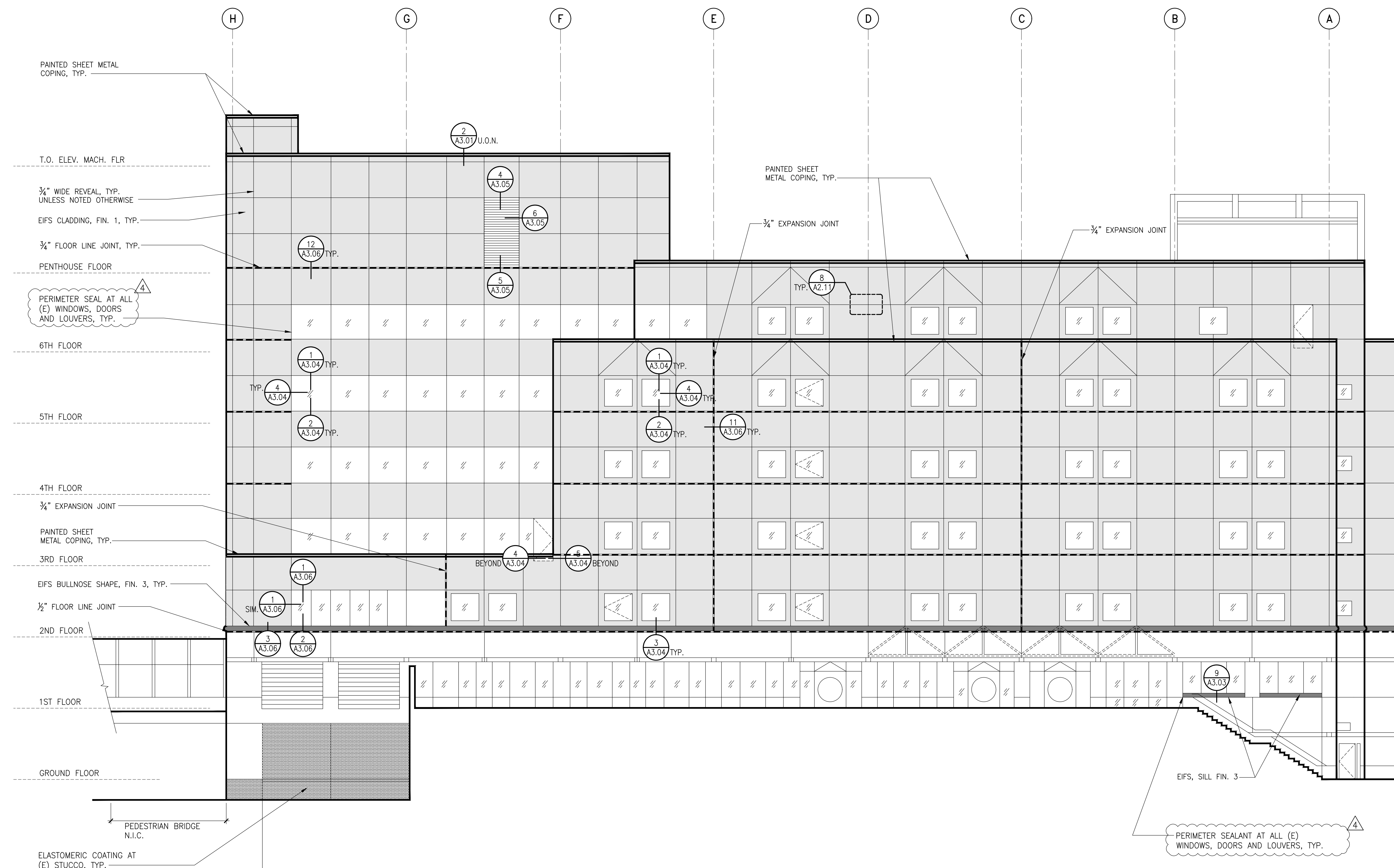
**SOUTH ELEVATION**

Drawing Title

Project 158008.01	Checked RNU	Date 01/30/18
Drawn PA	Approved ALH	Scale AS NOTED

Drawing No.  
**A2.03**

Seal



**1 SOUTH ELEVATION**  
APPROX. SCALE: 1"=10'-0"

**LEGEND**

	FIN. 1: TO BE DETERMINED
	FIN. 2: TO BE DETERMINED
	FIN. 3: TO BE DETERMINED
	ELASTOMERIC COATING AT (E) STUCCO (PHASE 3)

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Consultant

No.	Date	Description	By
1	01/30/18	Prebid RFI #1	ALH
2	11/20/17	Bid Set	ALH
3	07/20/16	Plan Check Re-Submission	ALH
4	04/18/16	Plan Check Submission	ALH
5	03/25/16	90% Progress Print for Owner Review	ALH

**EIFS EXTERIOR WALL  
REPLACEMENT  
EDMUND D. EDELMAN  
CHILDREN'S  
COURT**  
201 CENTRE PLAZA DRIVE  
MONTEREY PARK, CA 91754  
Project

**WEST ELEVATION**

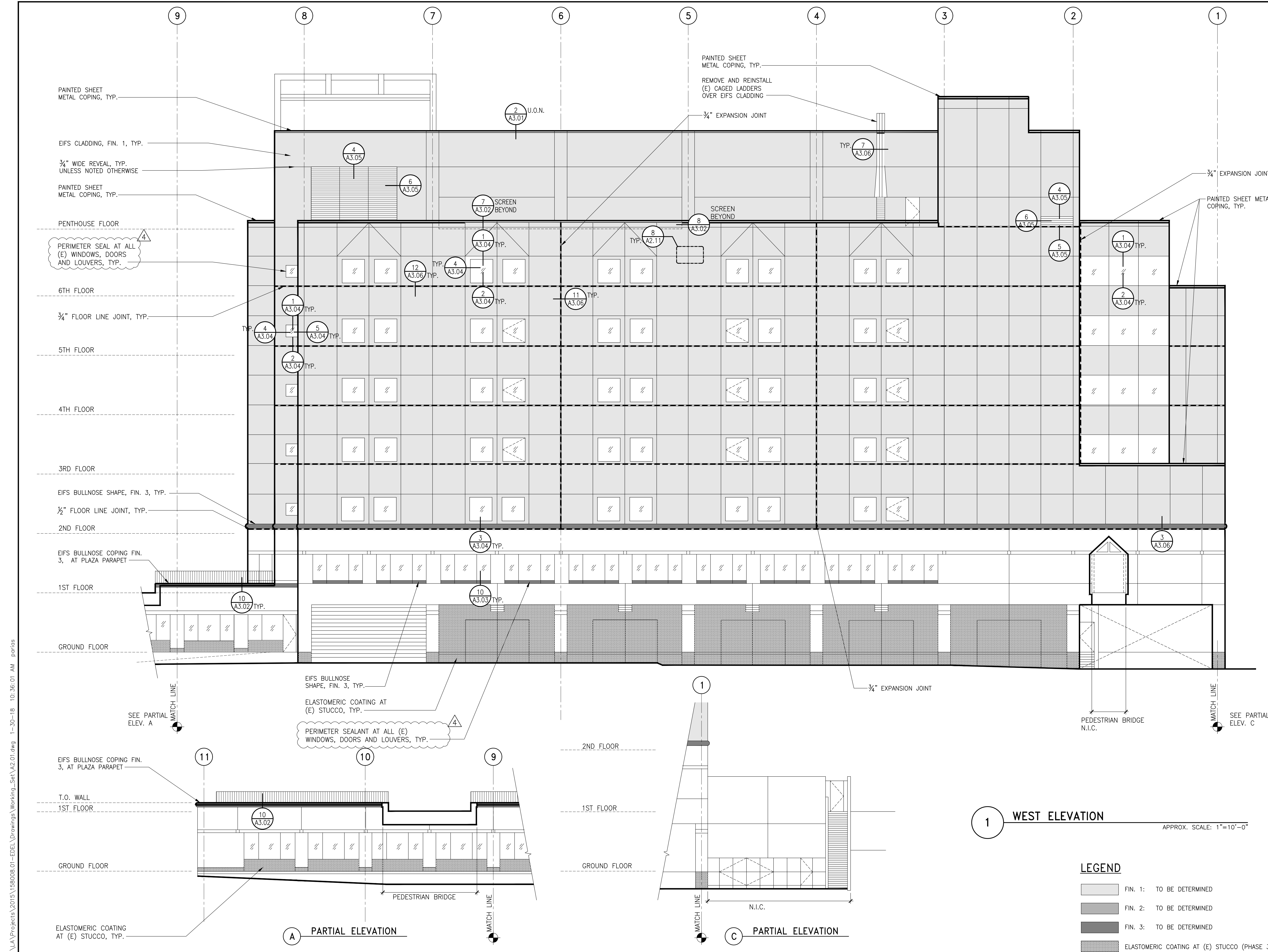
Drawing Title

Project	Checked	Date
158008.01	RNU	01/30/18
Drawn	Approved	Scale
PA	ALH	AS NOTED

Drawing No.

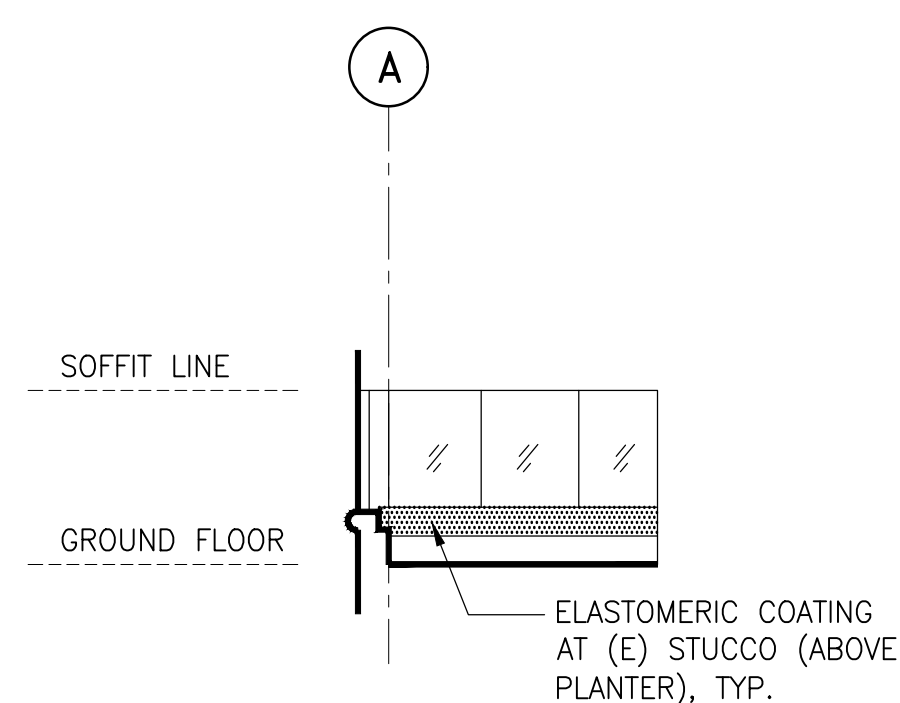
**A2.04**

Seal

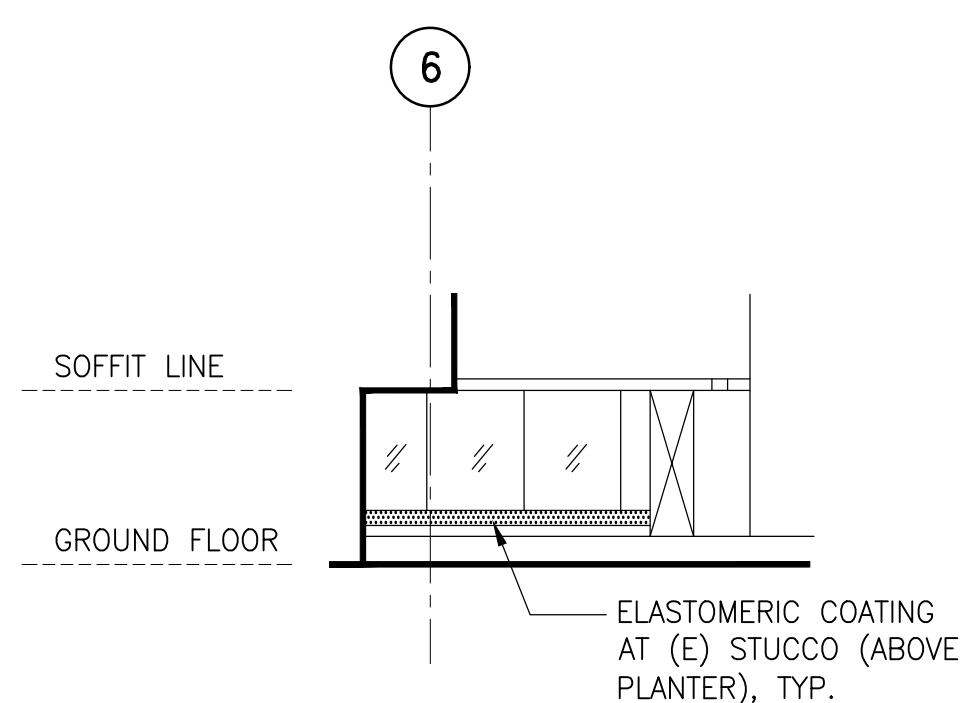


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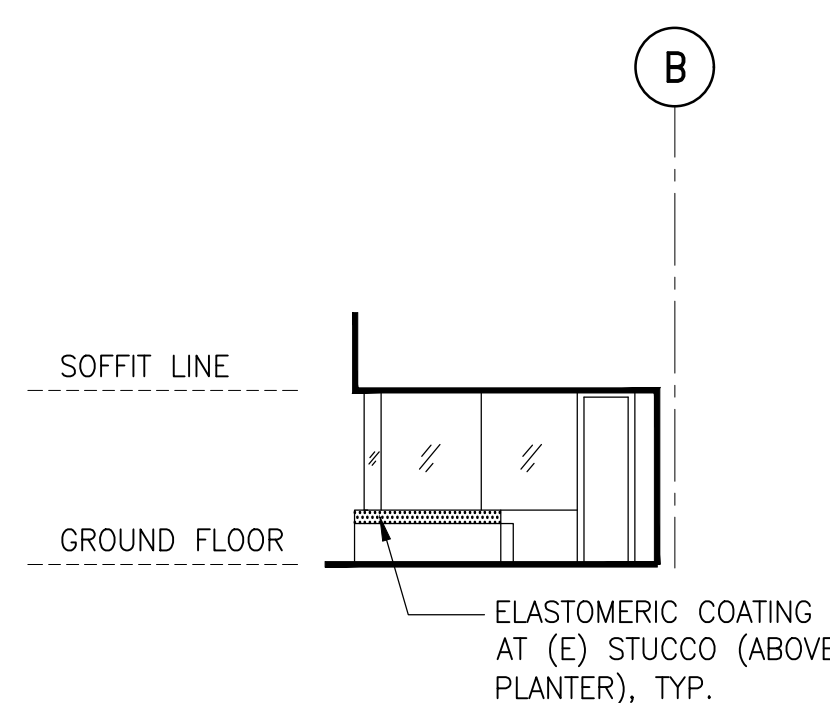
Consultant



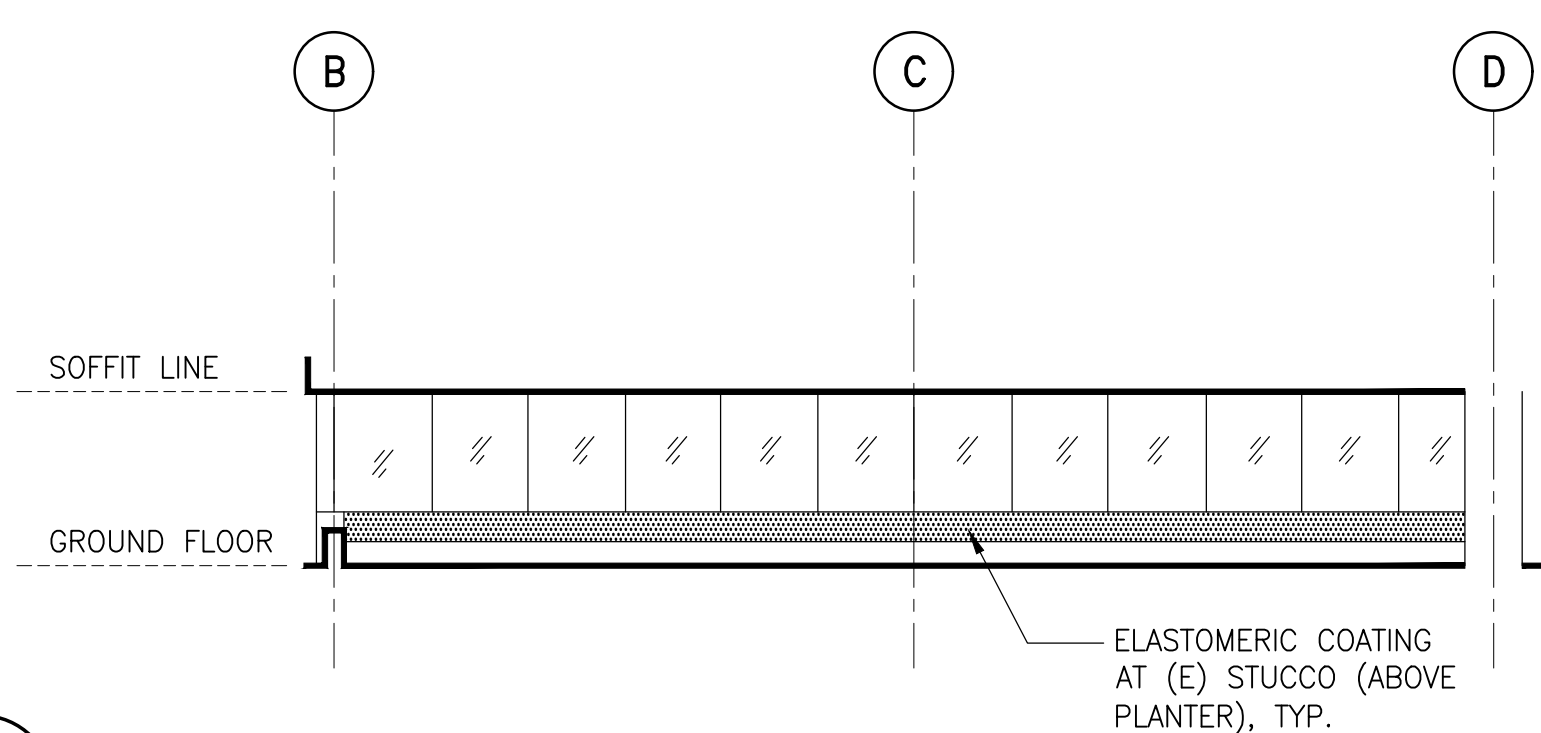
1 FLR. 1 PARTIAL ELEV.  
SCALE: 1"=10'-0"



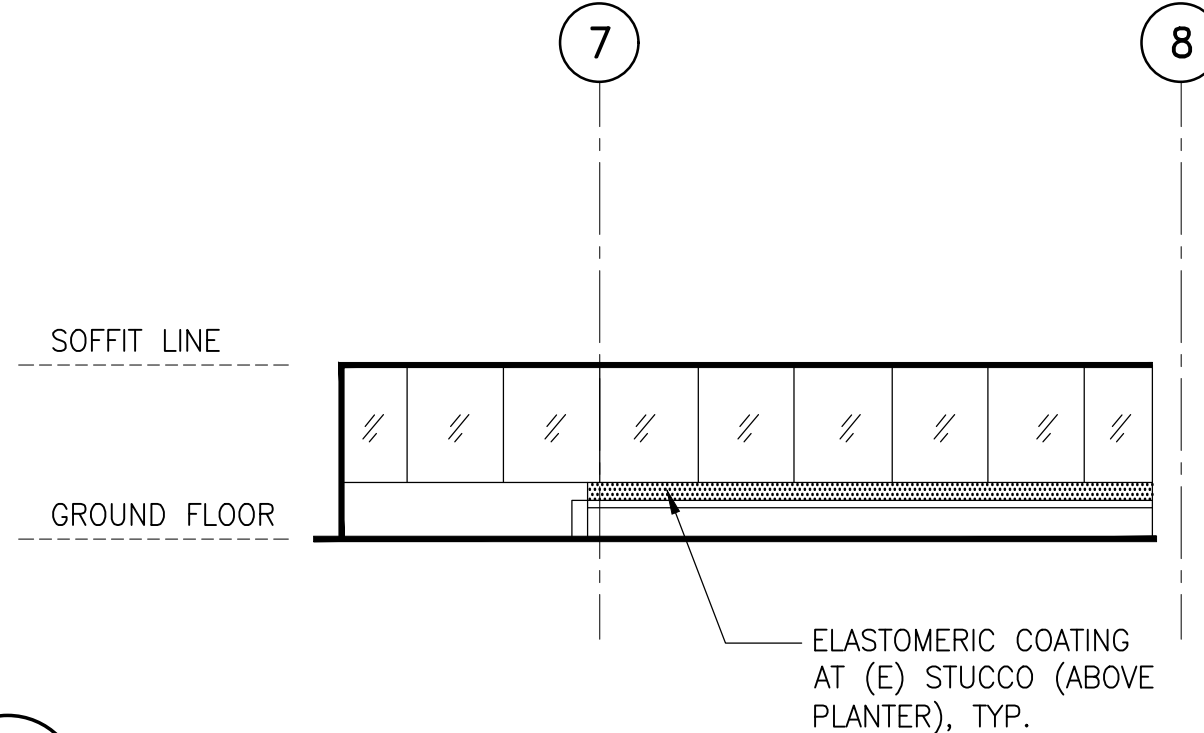
2 FLR. 1 PARTIAL ELEV.  
SCALE: 1"=10'-0"



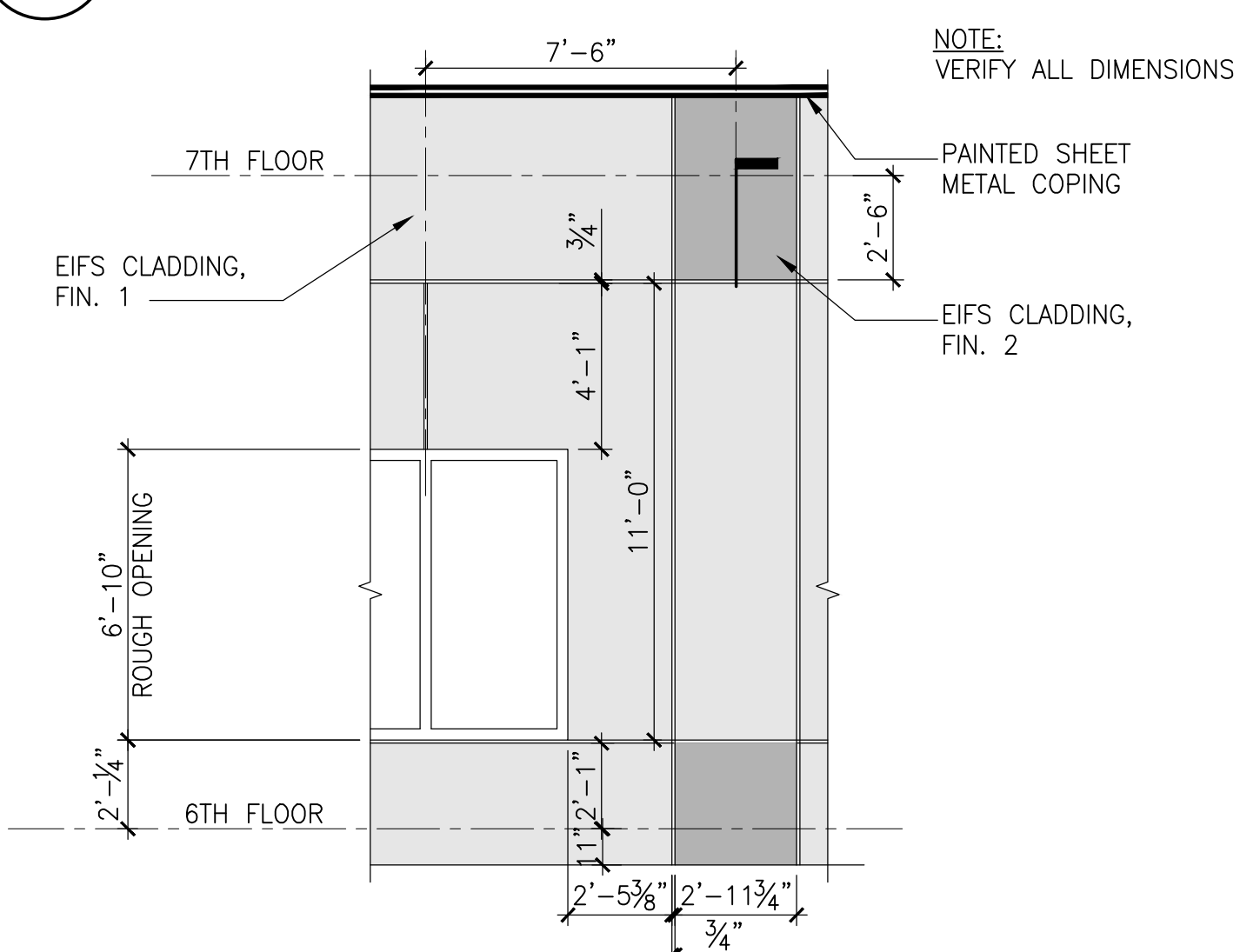
3 FLR. 1 PARTIAL ELEV.  
SCALE: 1"=10'-0"



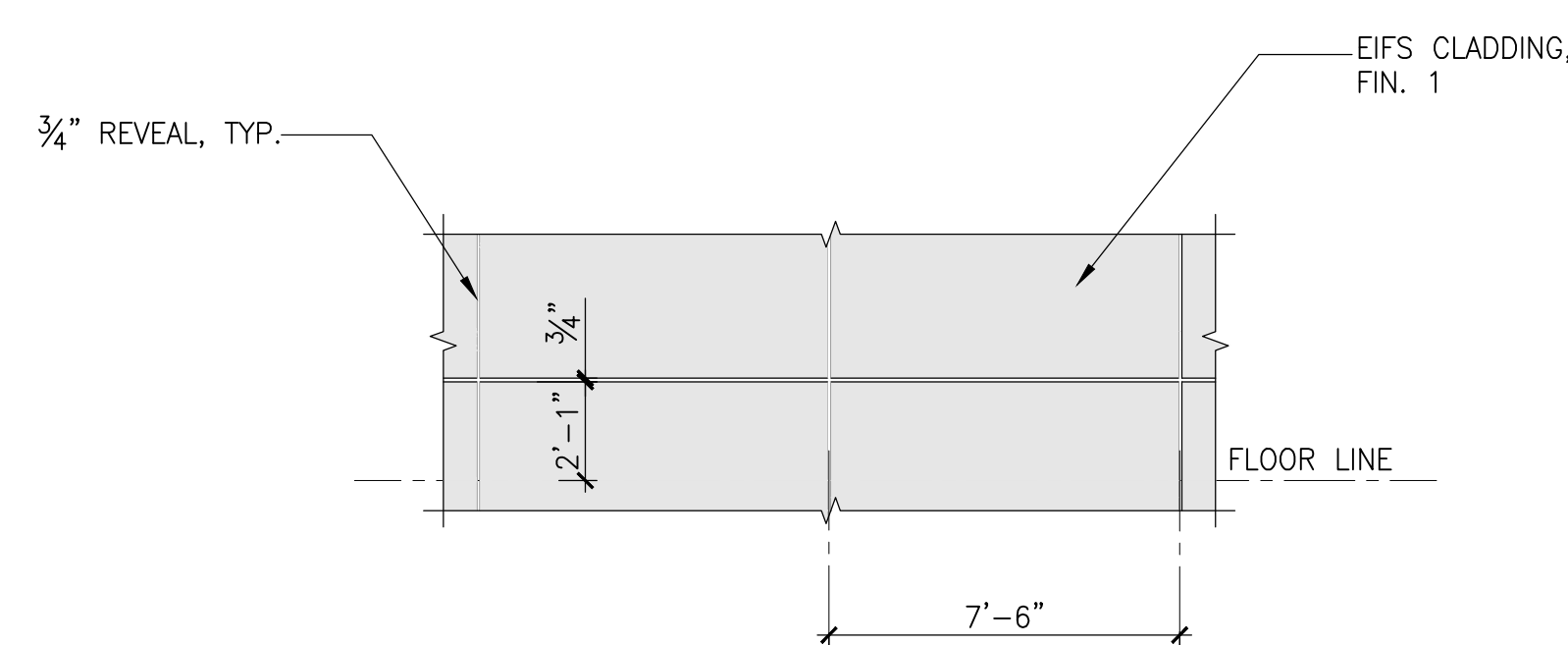
4 FLR. 1 PARTIAL ELEV.  
SCALE: 1"=10'-0"



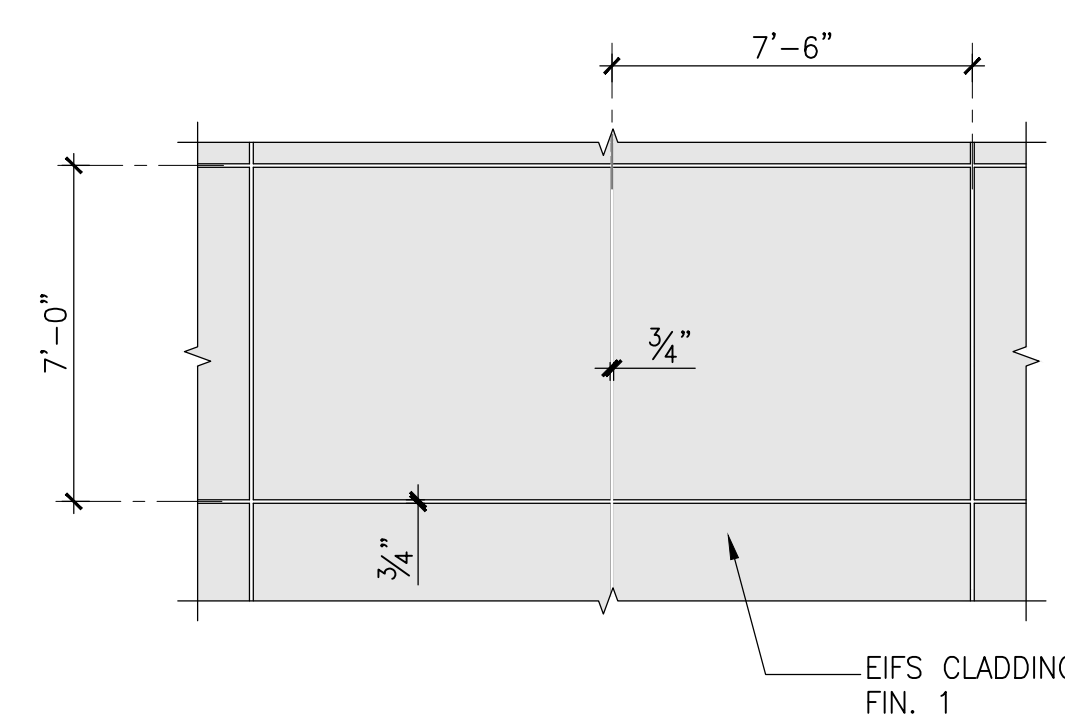
5 FLR. 1 PARTIAL ELEV.  
SCALE: 1"=10'-0"



6 NORTH & EAST WALL ENLARGED ELEVATION  
SCALE: 1/4"=1'-0"



7 NORTH & EAST WALL ENLARGED ELEVATION  
SCALE: 1/4"=1'-0"



8 SOUTH & WEST WALL ENLARGED ELEVATION  
SCALE: 1/4"=1'-0"

NOTE:  
VERIFY ALL DIMENSIONS

**LEGEND**

- FIN. 1: TO BE DETERMINED
- FIN. 2: TO BE DETERMINED
- FIN. 3: TO BE DETERMINED
- ELASTOMERIC COATING AT (E) STUCCO (PHASE 3)

No.	Date	Description	By
0	03/25/16	90% Progress Print for Owner Review	ALH
1	04/18/16	Plan Check Submission	ALH
2	07/20/16	Plan Check Re-Submission	ALH
3	11/20/17	Bid Set	ALH
01/30/18		Prebid RFI #1	ALH

**EIFS EXTERIOR WALL  
REPLACEMENT  
EDMUND D. EDELMAN  
CHILDREN'S  
COURT**  
201 CENTRE PLAZA DRIVE  
MONTEREY PARK, CA 91754

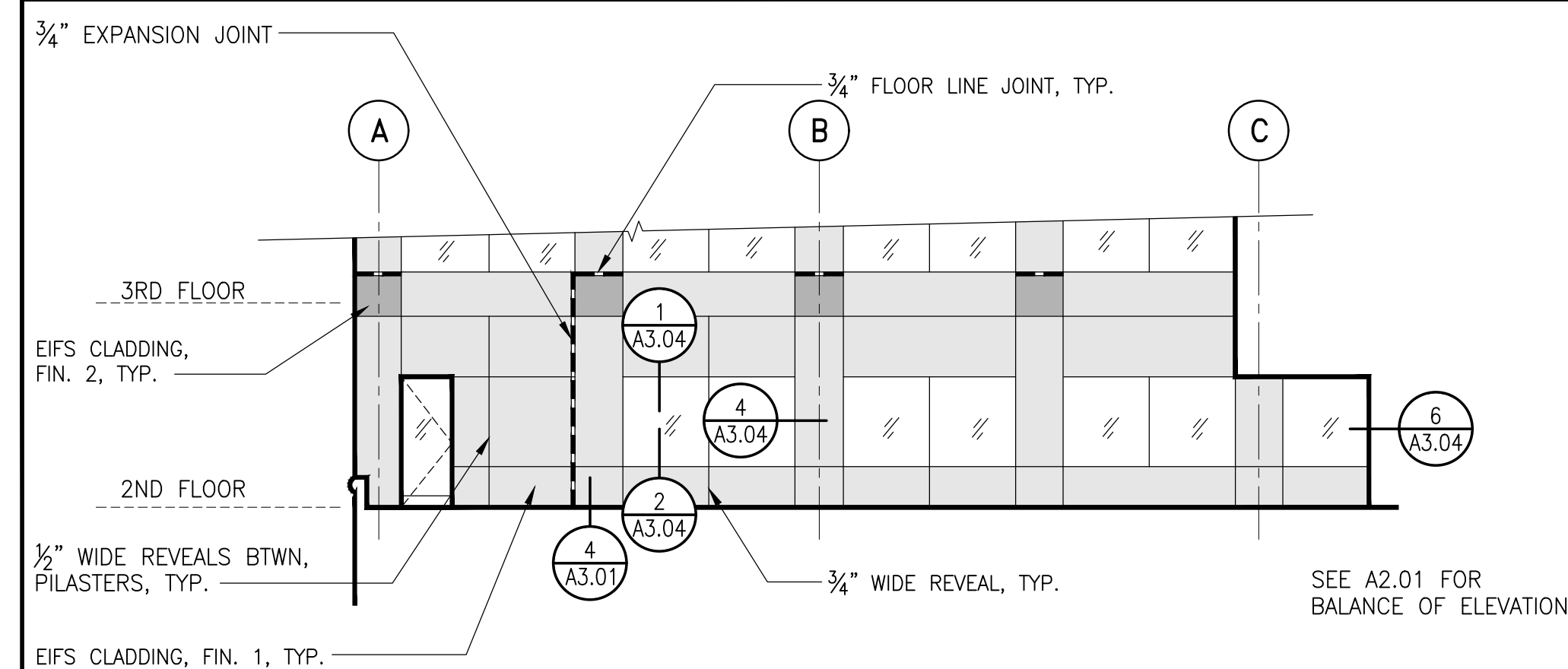
**PARTIAL ELEVATIONS**

Drawing Title

Project 158008.01	Checked RNU	Date 01/30/18
Drawn PA	Approved ALH	Scale AS NOTED

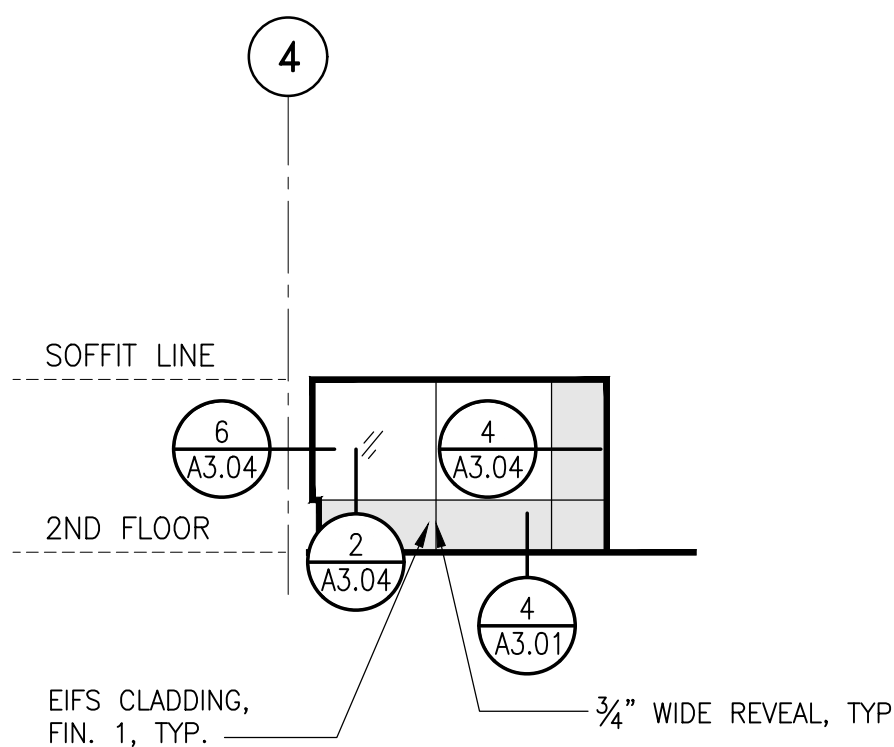
Drawing No.  
**A2.11**

Consultant



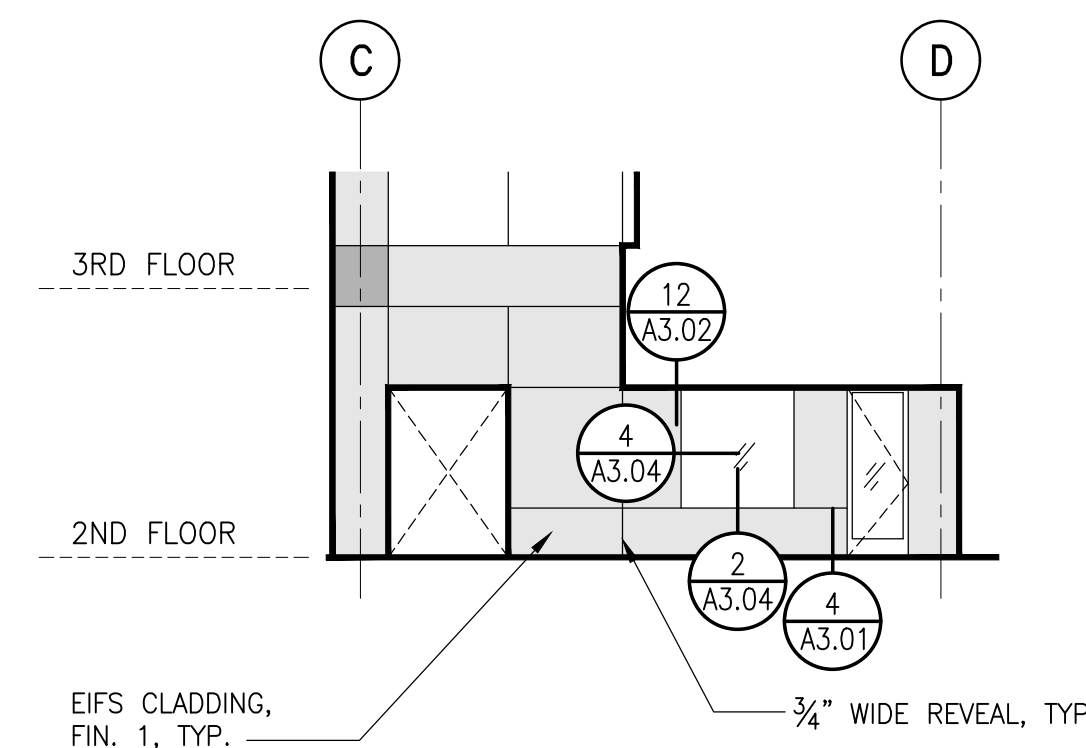
1 FLR. 2 PARTIAL ELEV.

SCALE: 1"=10'-0"



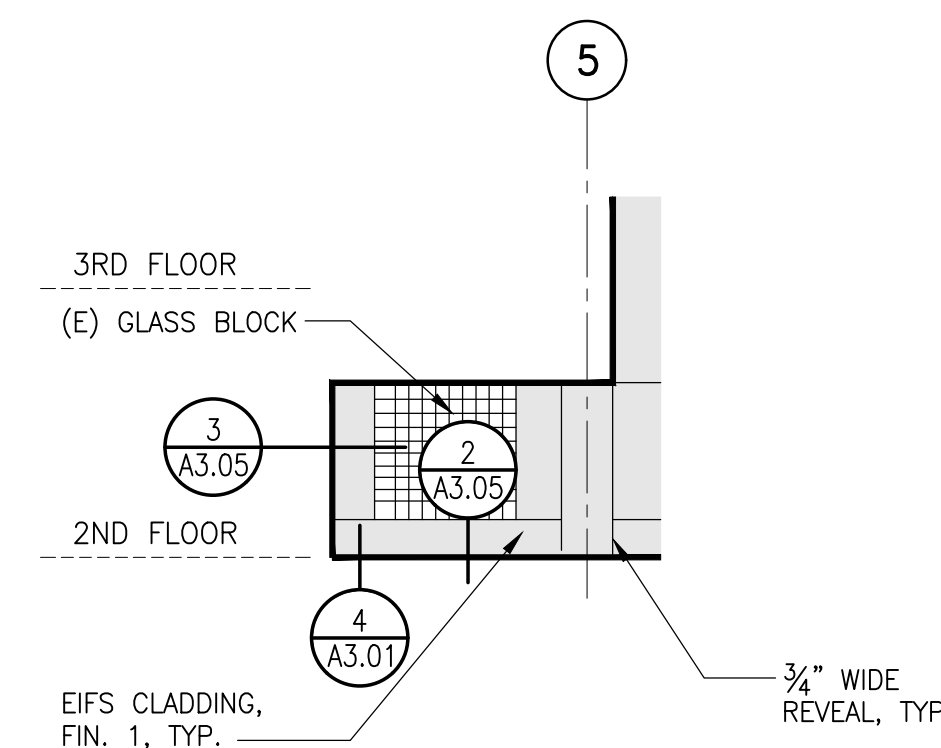
2 FLR. 2 PARTIAL ELEV.

SCALE: 1"=10'-0"



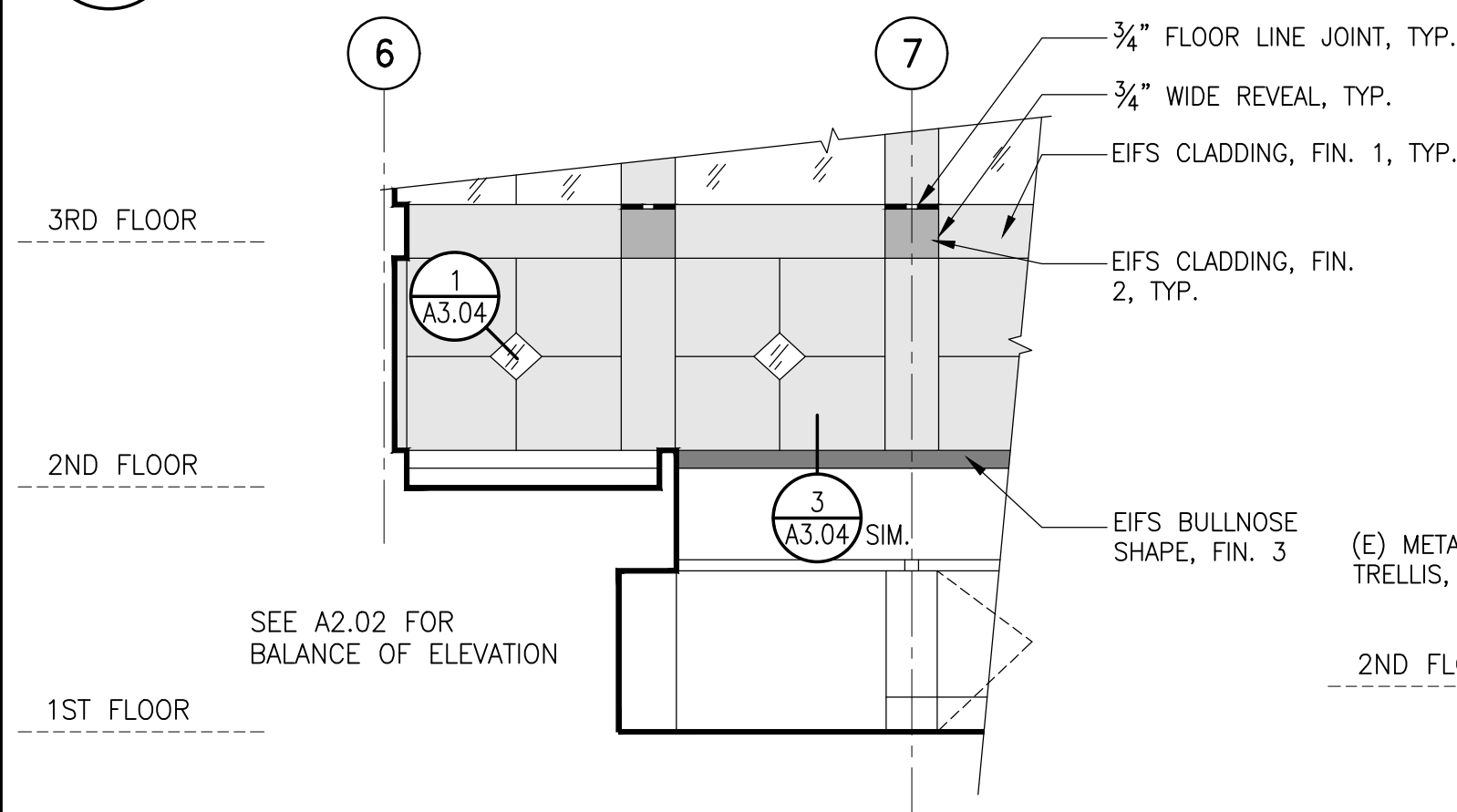
3 FLR. 2 PARTIAL ELEV.

SCALE: 1"=10'-0"



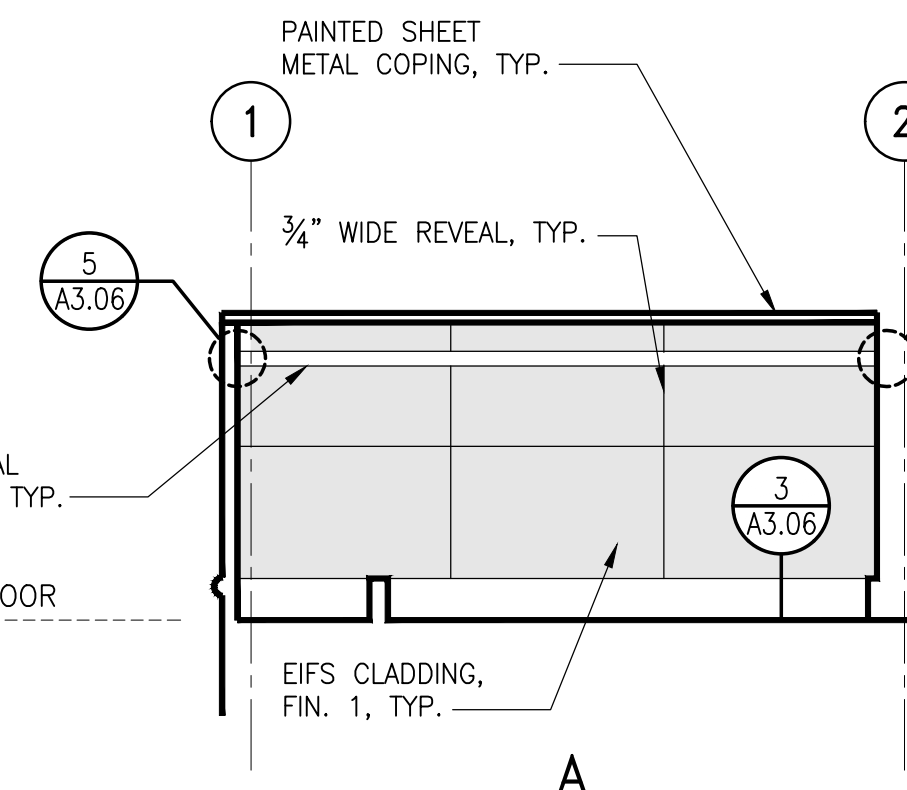
4 FLR. 2 PARTIAL ELEV.

SCALE: 1"=10'-0"



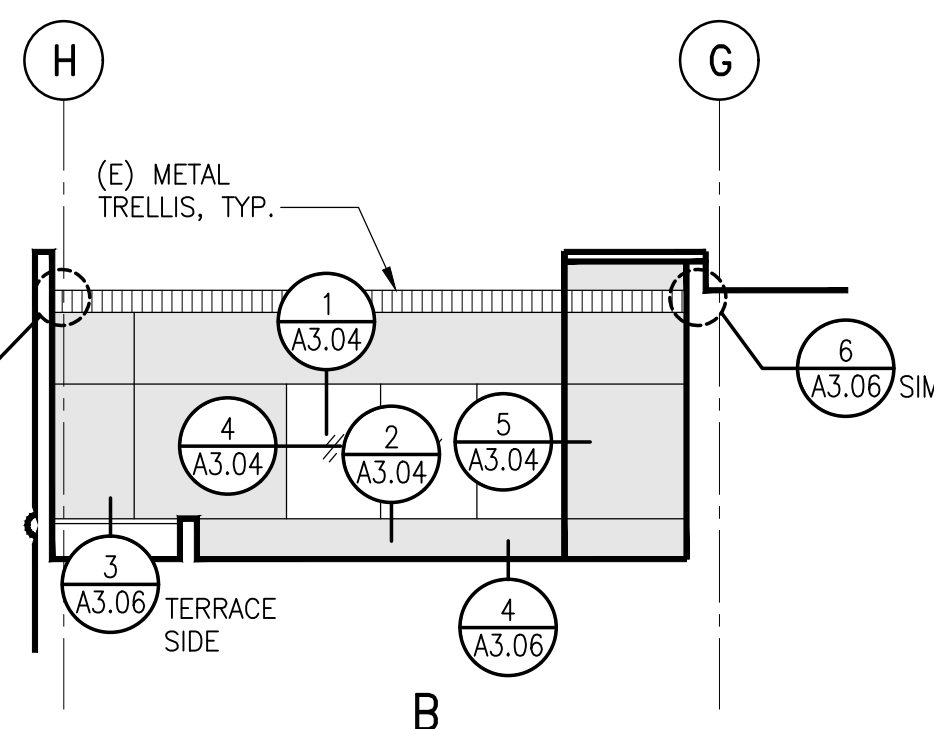
5 FLR. 2 PARTIAL ELEV.

SCALE: 1"=10'-0"

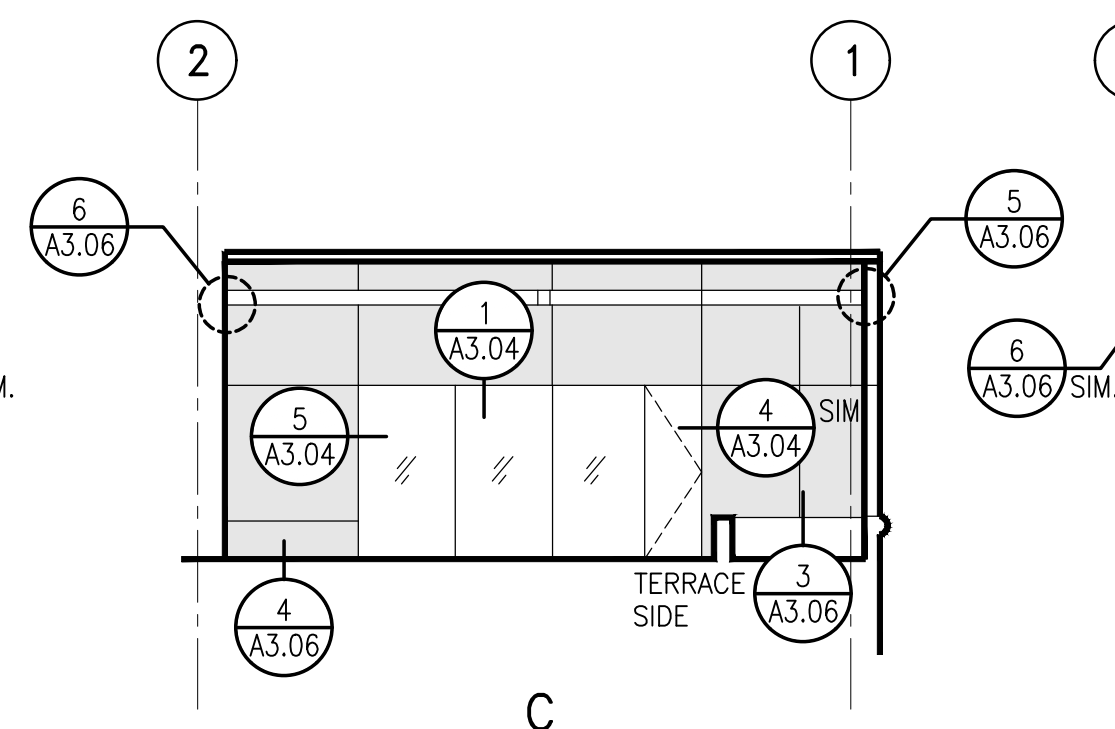


6 FLR. 2 JUDGES' TERRACE ELEVATIONS

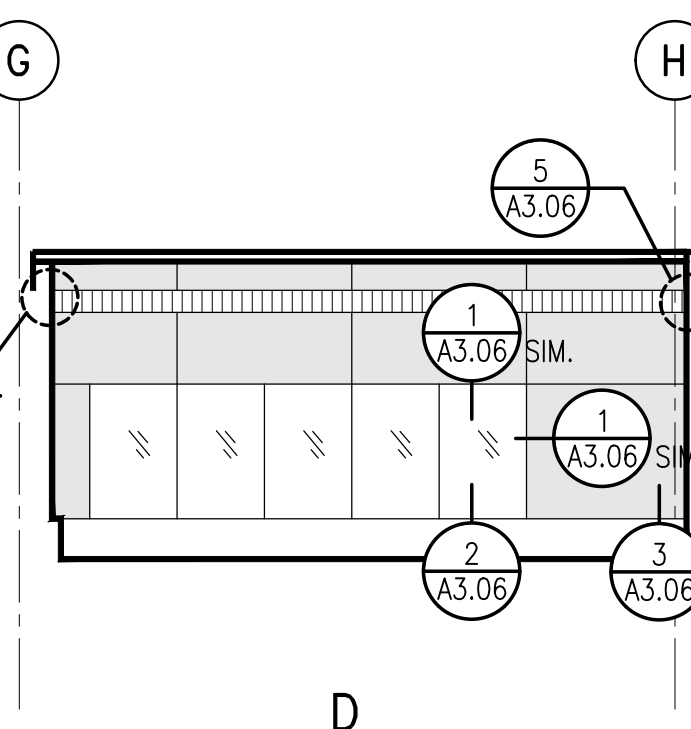
SCALE: 1"=10'-0"



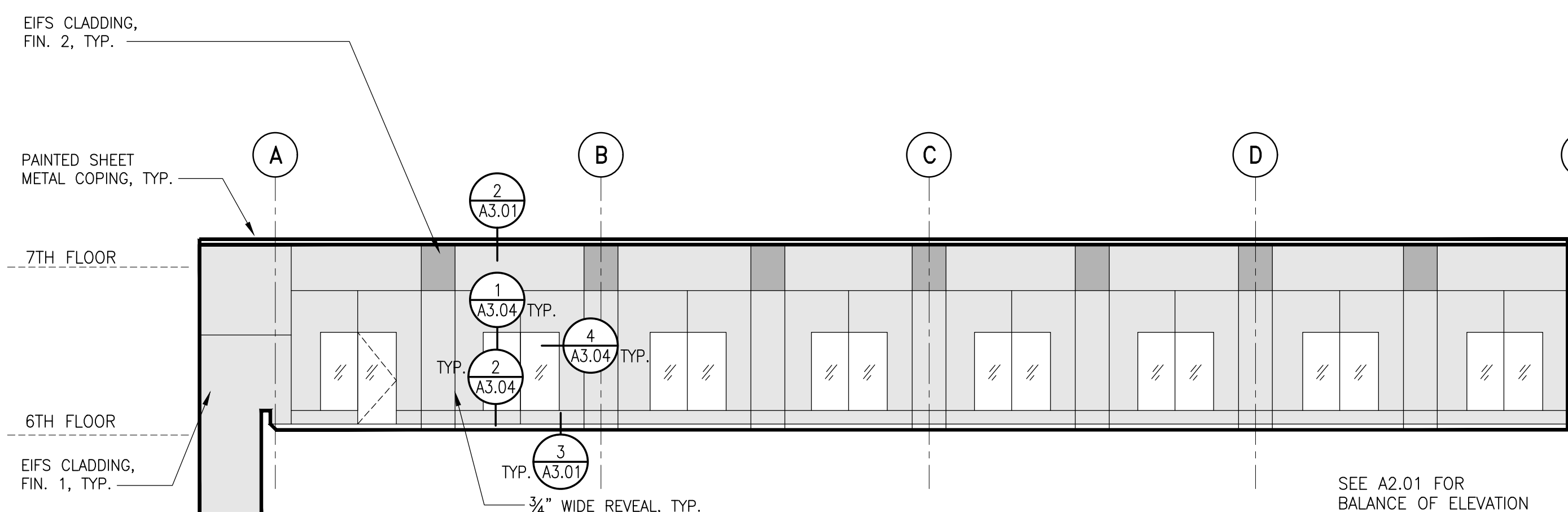
B



C

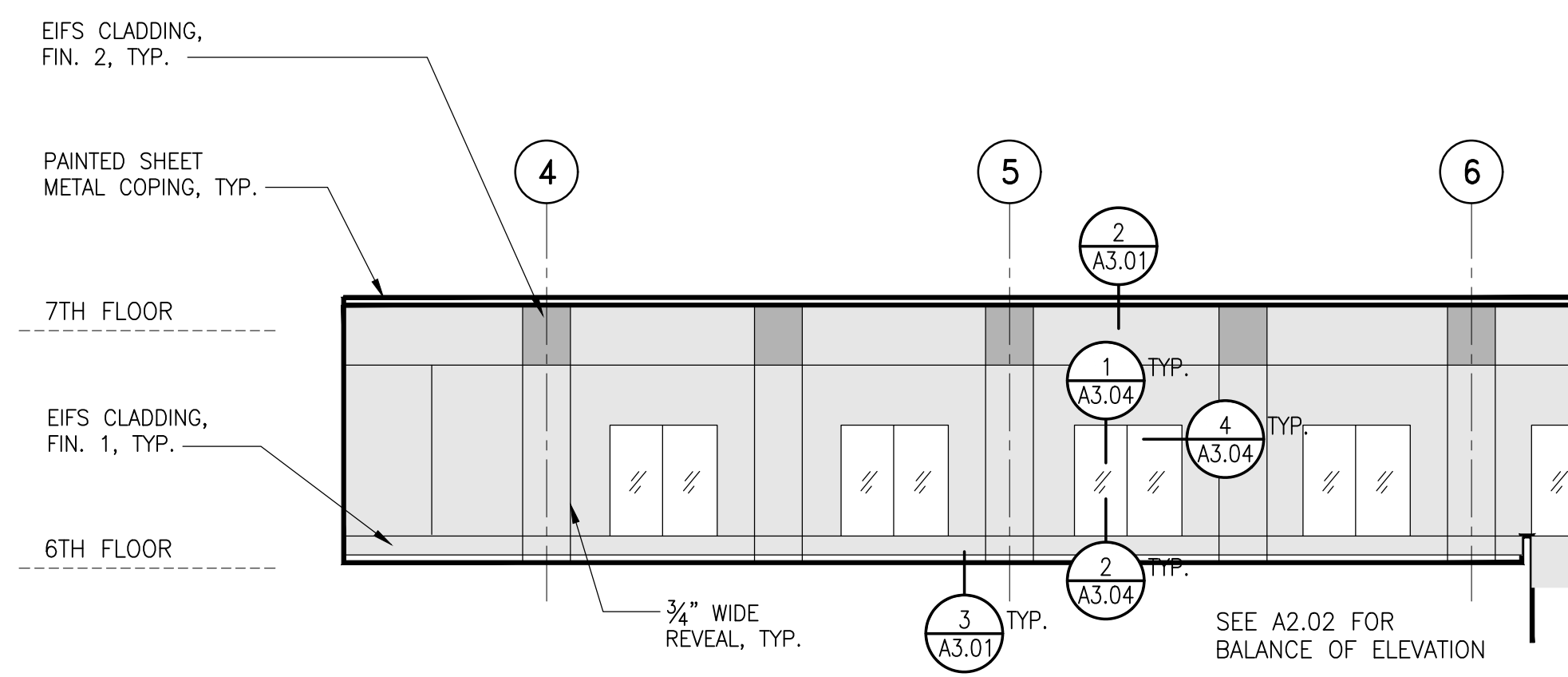


D



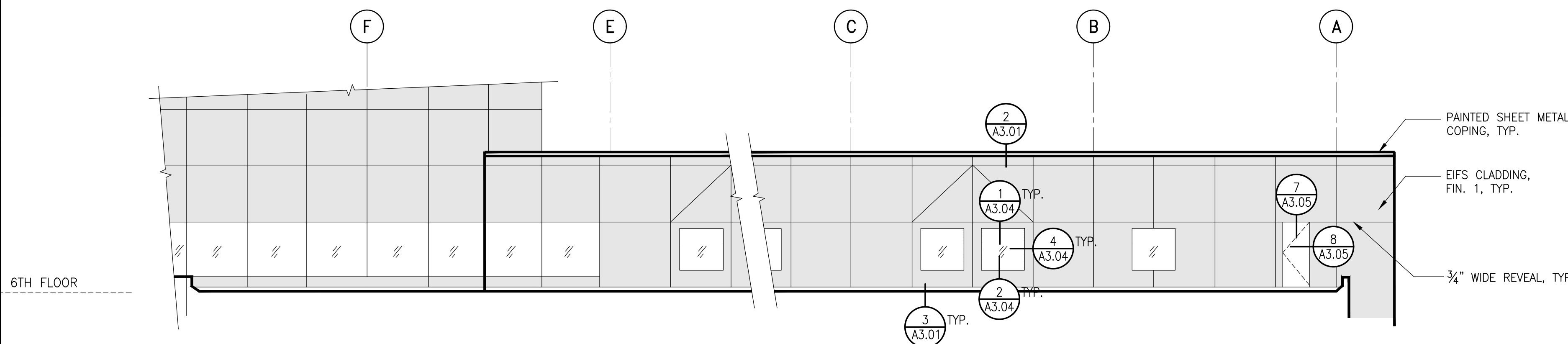
7 FLR. 6 PARTIAL ELEV.

SCALE: 1"=10'-0"



8 FLR. 6 PARTIAL ELEV.

SCALE: 1"=10'-0"



9 FLR. 6 PARTIAL ELEV.

SCALE: 1"=10'-0"

**LEGEND**

- FIN. 1: TO BE DETERMINED
- FIN. 2: TO BE DETERMINED
- FIN. 3: TO BE DETERMINED
- ELASTOMERIC COATING AT (E) STUCCO (PHASE 3)

No.	Date	Description	By
0	03/25/16	90% Progress Print for Owner Review	ALH
1	04/18/16	Plan Check Submission	ALH
2	07/20/16	Plan Check Re-Submission	ALH
3	11/20/17	Bid Set	ALH
4	01/30/18	Prebid RFI #1	ALH

**EIFS EXTERIOR WALL  
REPLACEMENT  
EDMUND D. EDELMAN  
CHILDREN'S  
COURT**  
201 CENTRE PLAZA DRIVE  
MONTEREY PARK, CA 91754

**PARTIAL ELEVATIONS**

Drawing Title

Project 158008.01	Checked RNU	Date 01/30/18
Drawn PA	Approved ALH	Scale AS NOTED

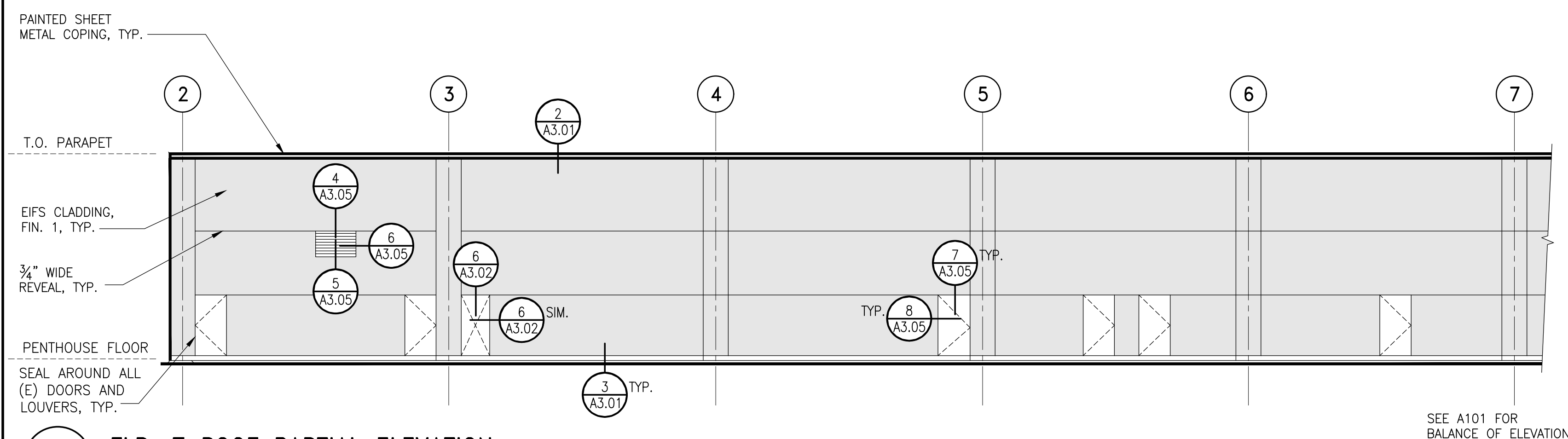
Drawing No.

**A2.12**

Seal

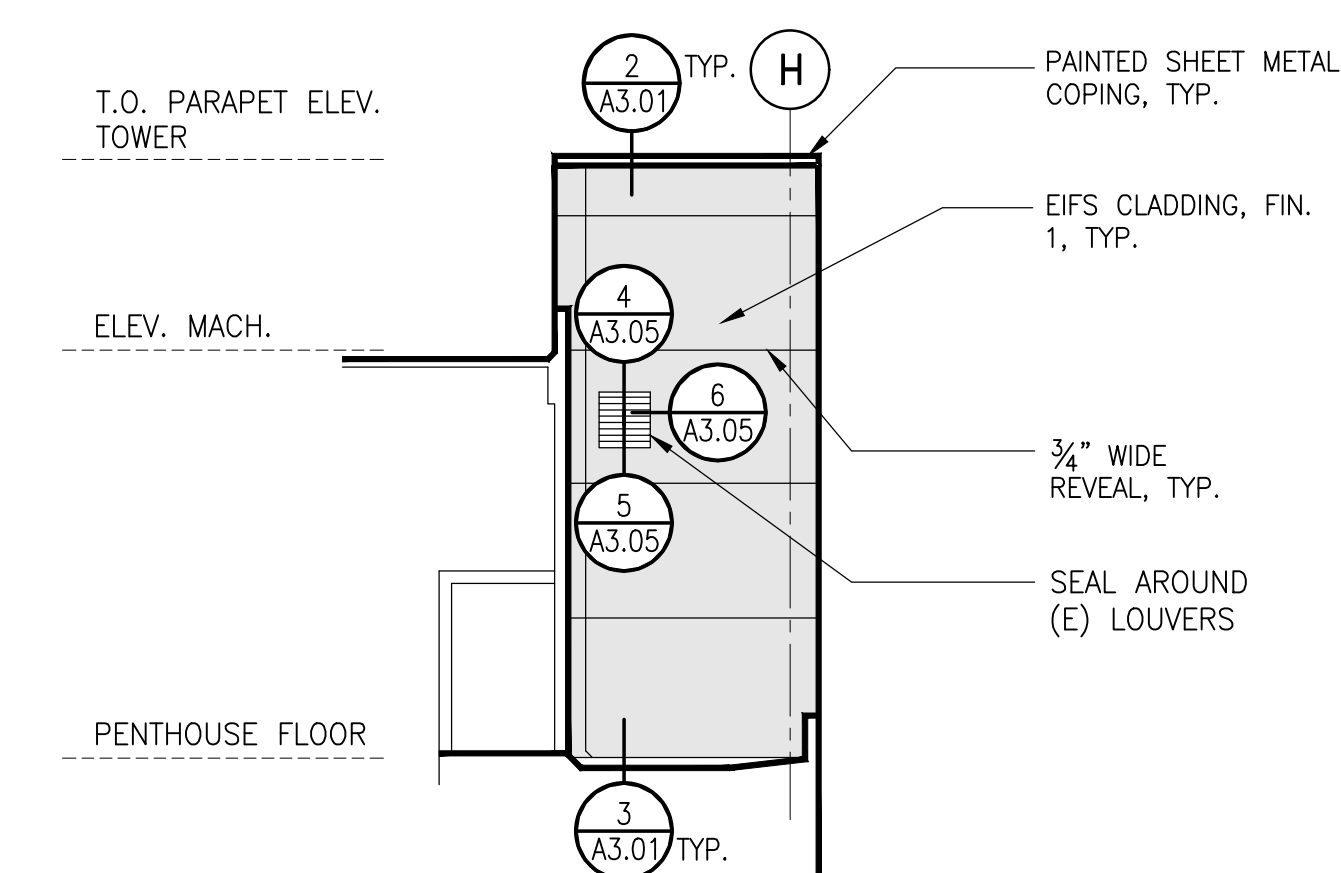
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Consultant



3 FLR. 7 ROOF PARTIAL ELEVATION

SCALE: 1"=10'-0"



4 FLR. 7 ROOF LEVEL ELEVATION

SCALE: 1"=10'-0"

No.	Date	Description	By
0	03/25/16	90% Progress Print for Owner Review	ALH
1	04/18/16	Plan Check Submission	ALH
2	07/20/16	Plan Check Re-Submission	ALH
3	11/20/17	Bid Set	ALH
4	01/30/18	Prebid RFI #1	ALH

**EIFS EXTERIOR WALL REPLACEMENT**  
**EDMUND D. EDELMAN CHILDREN'S COURT**  
 201 CENTRE PLAZA DRIVE  
 MONTEREY PARK, CA 91754  
 Project

**PARTIAL ELEVATIONS**

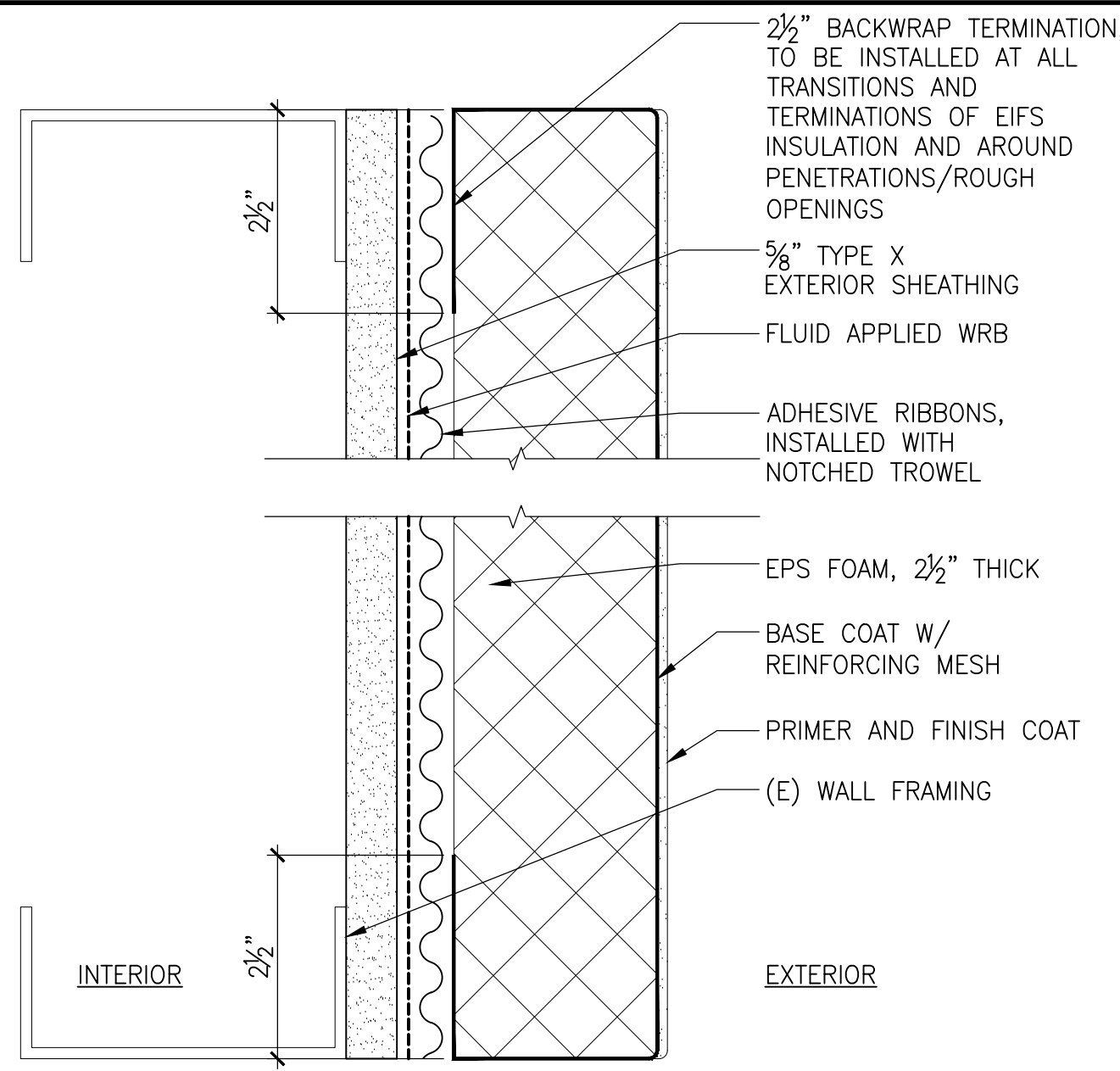
Drawing Title

Project 158008.01	Checked RNU	Date 01/30/18
Drawn PA	Approved ALH	Scale AS NOTED

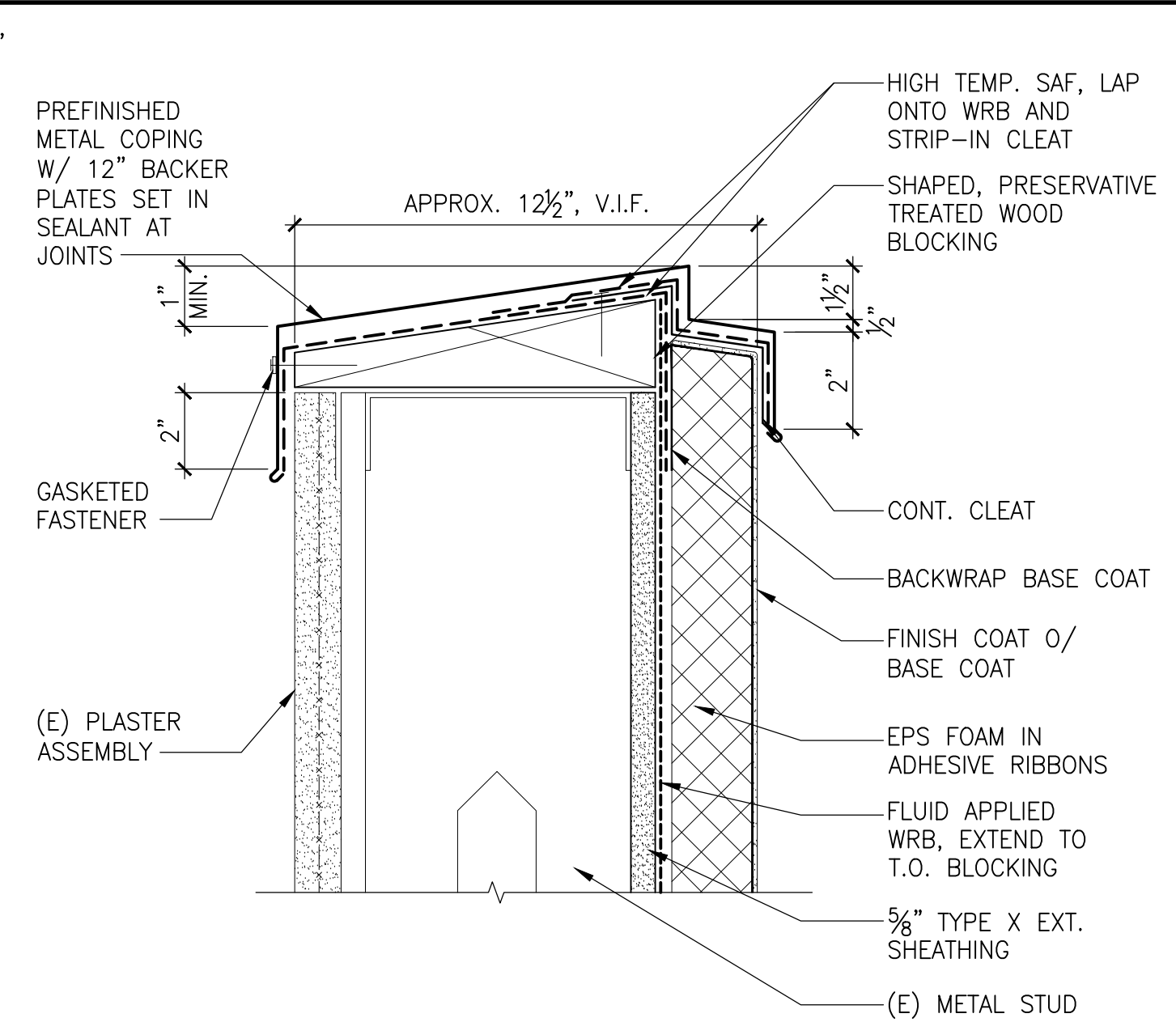
Drawing No.  
**A2.13**

**LEGEND**

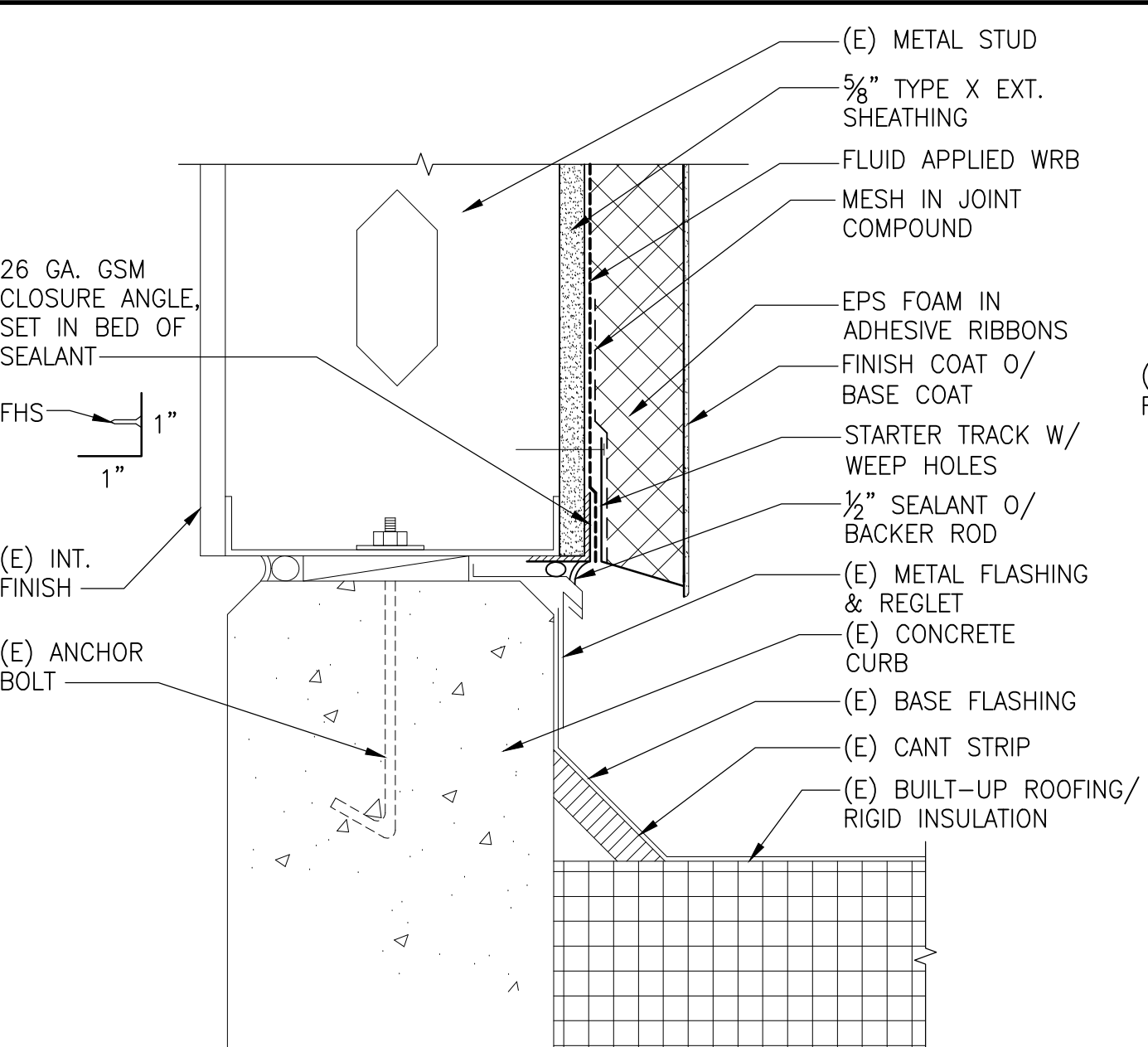
- FIN. 1: TO BE DETERMINED
- FIN. 2: TO BE DETERMINED
- FIN. 3: TO BE DETERMINED
- ELASTOMERIC COATING AT (E) STUCCO (PHASE 3)



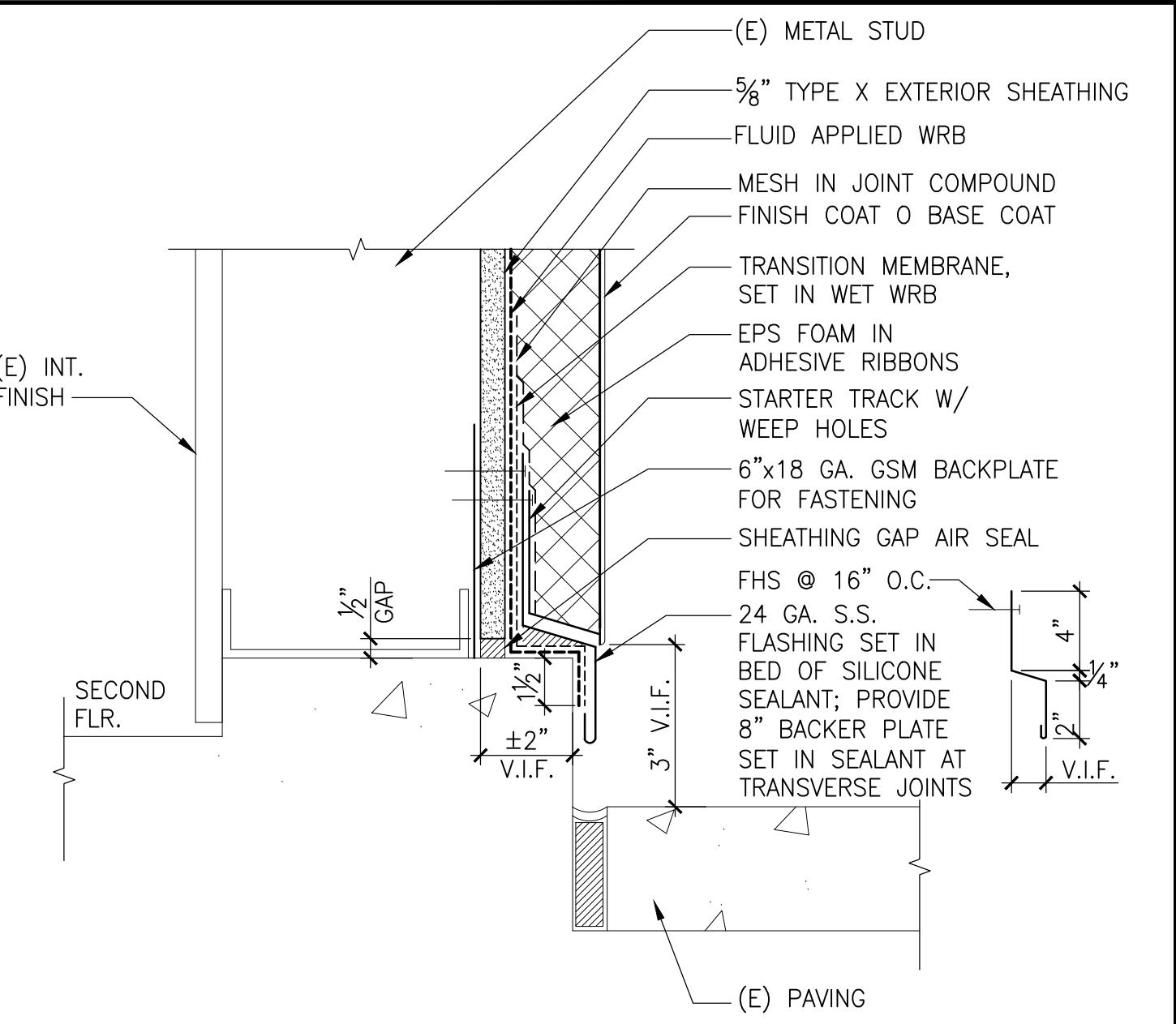
1 TYP. EIFS ASSEMBLY - PLAN SECTION  
SCALE: N.T.S.



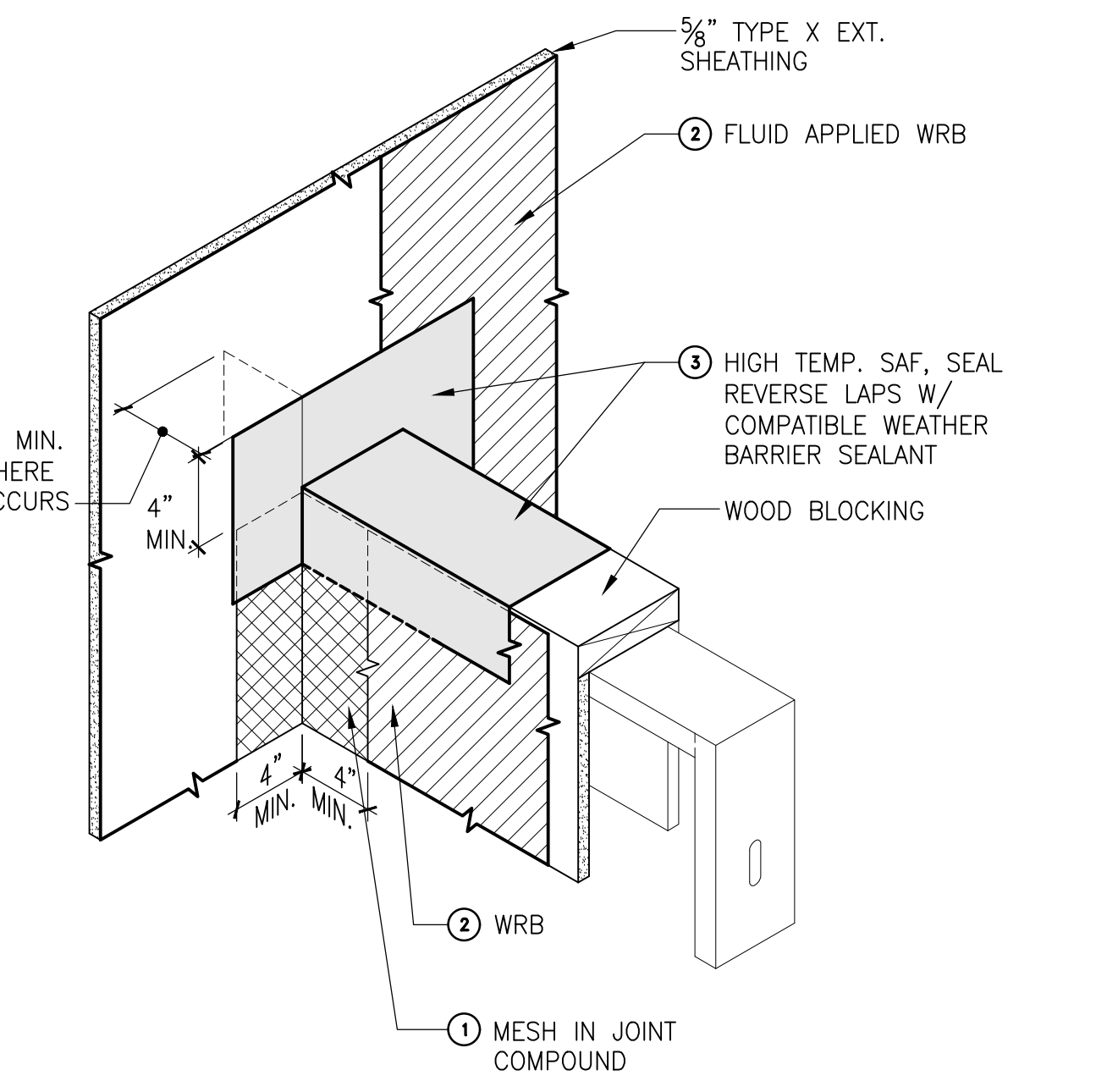
2 PARAPET  
SCALE: N.T.S.



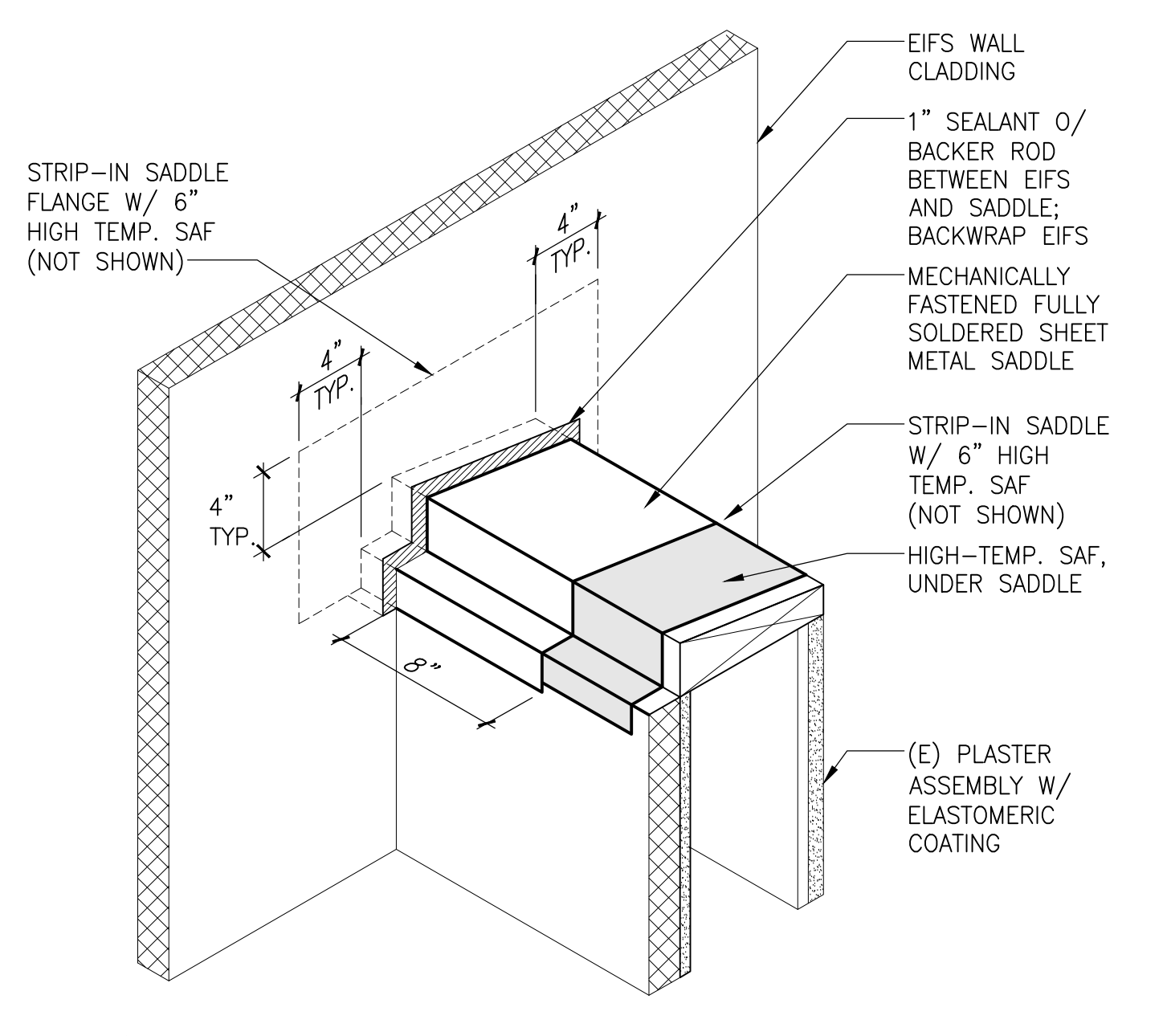
3 WALL BASE AT ROOF  
SCALE: N.T.S.



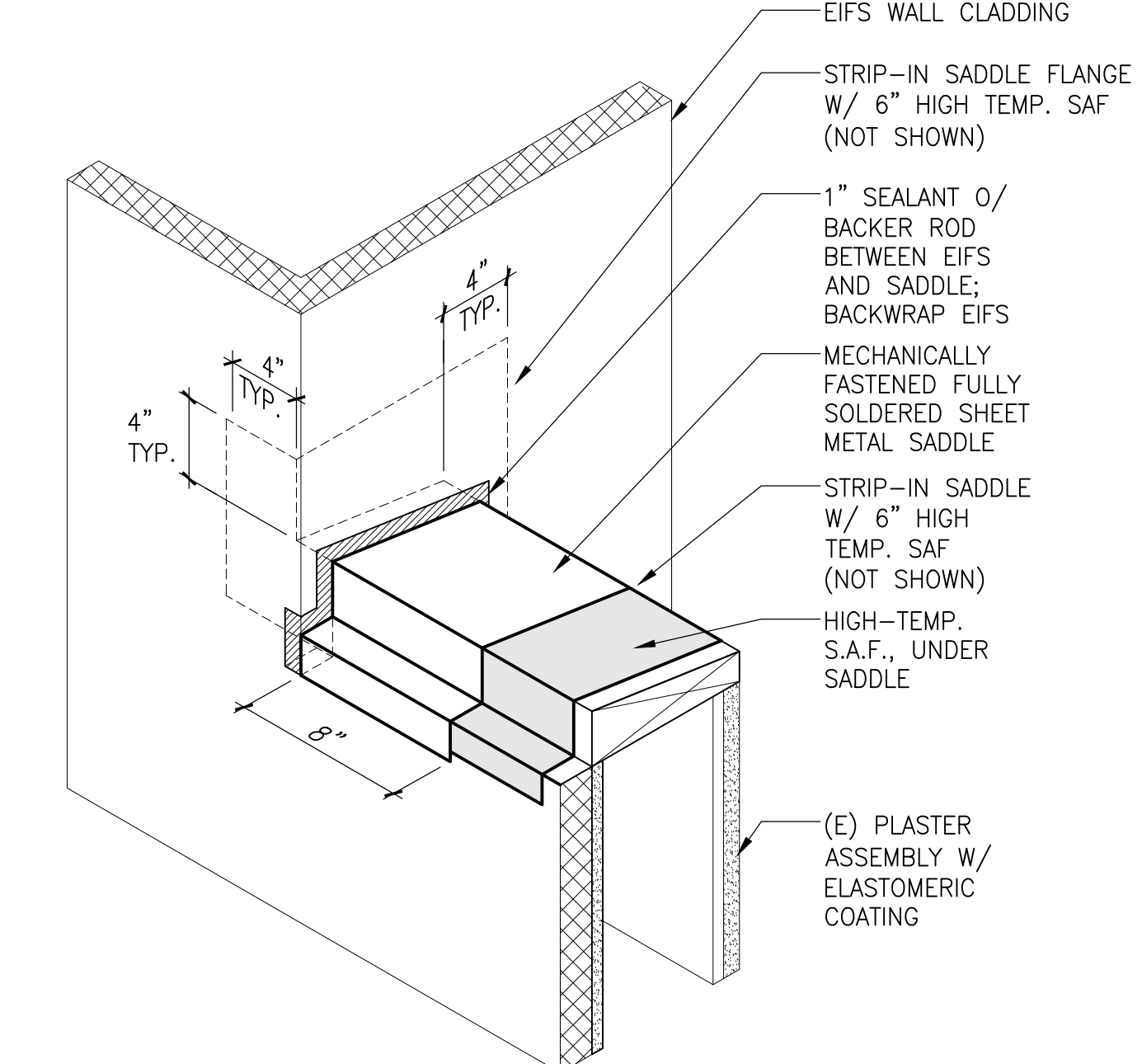
4 WALL BASE AT PAVING  
SCALE: N.T.S.



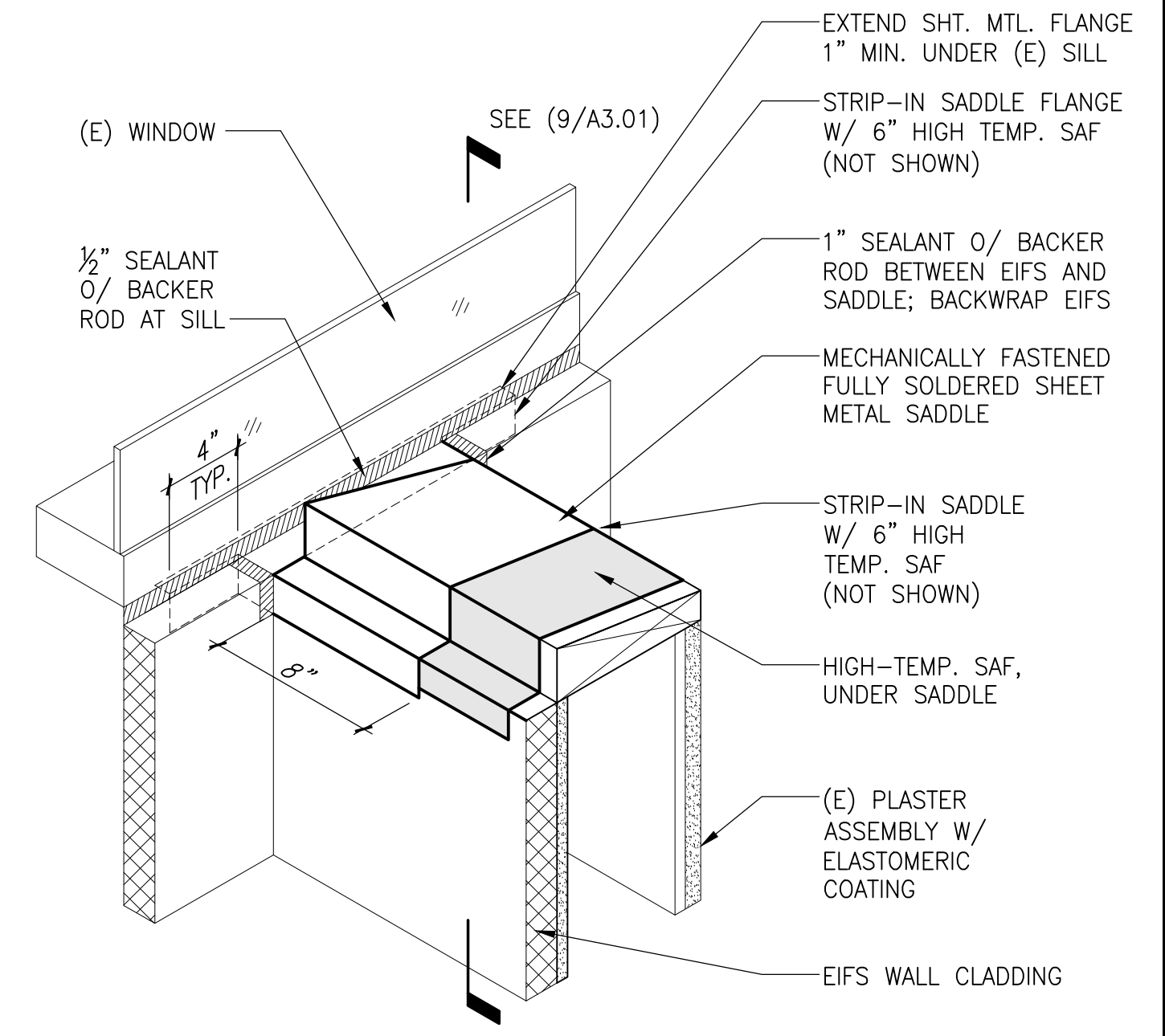
5 PARAPET WALL INTERSECTION ISOMETRIC (STEP 1)  
SCALE: N.T.S.



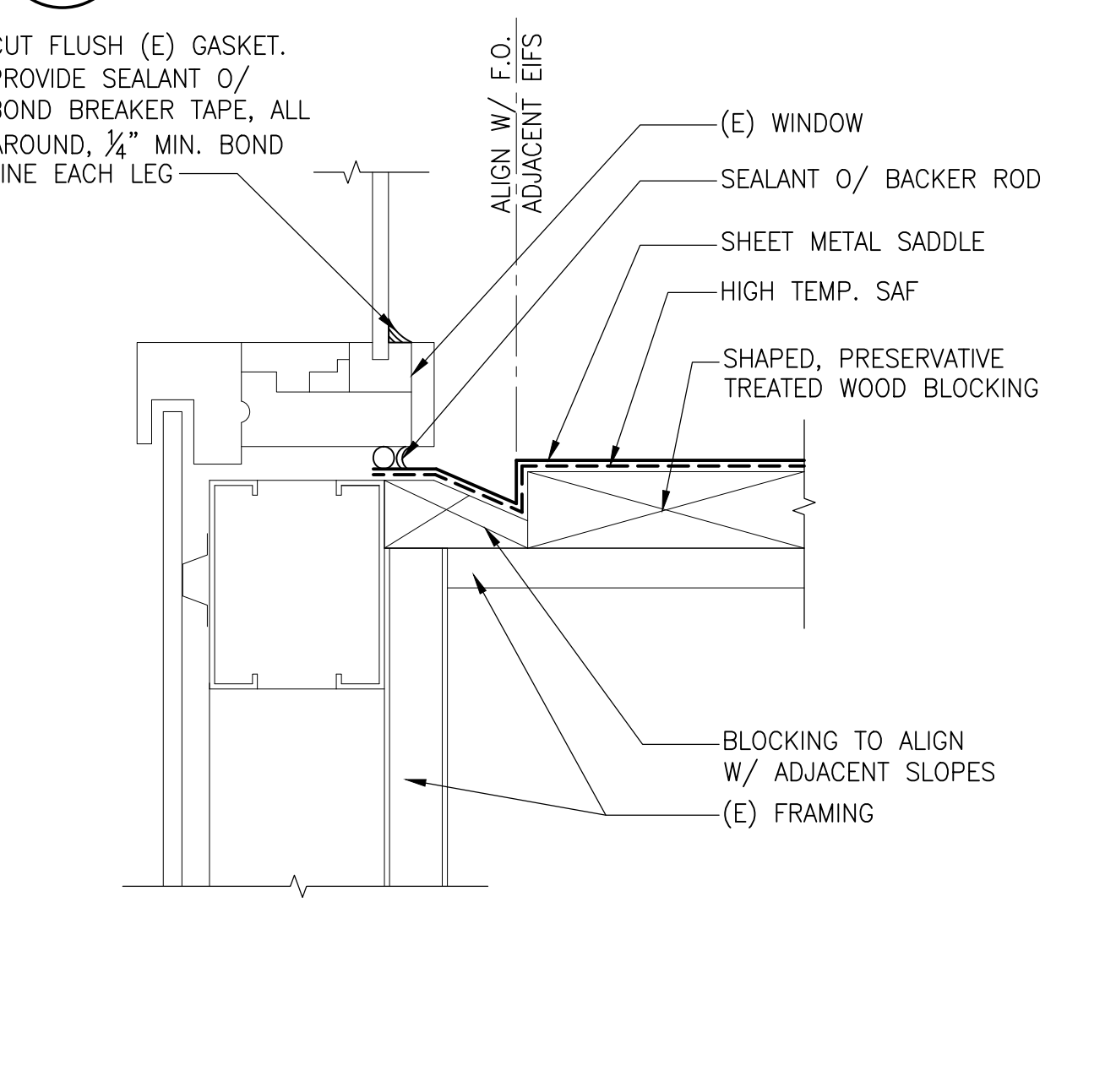
6 PARAPET WALL INTERSECTION ISOMETRIC (STEP 2A - USE WHERE INDICATED)  
SCALE: N.T.S.



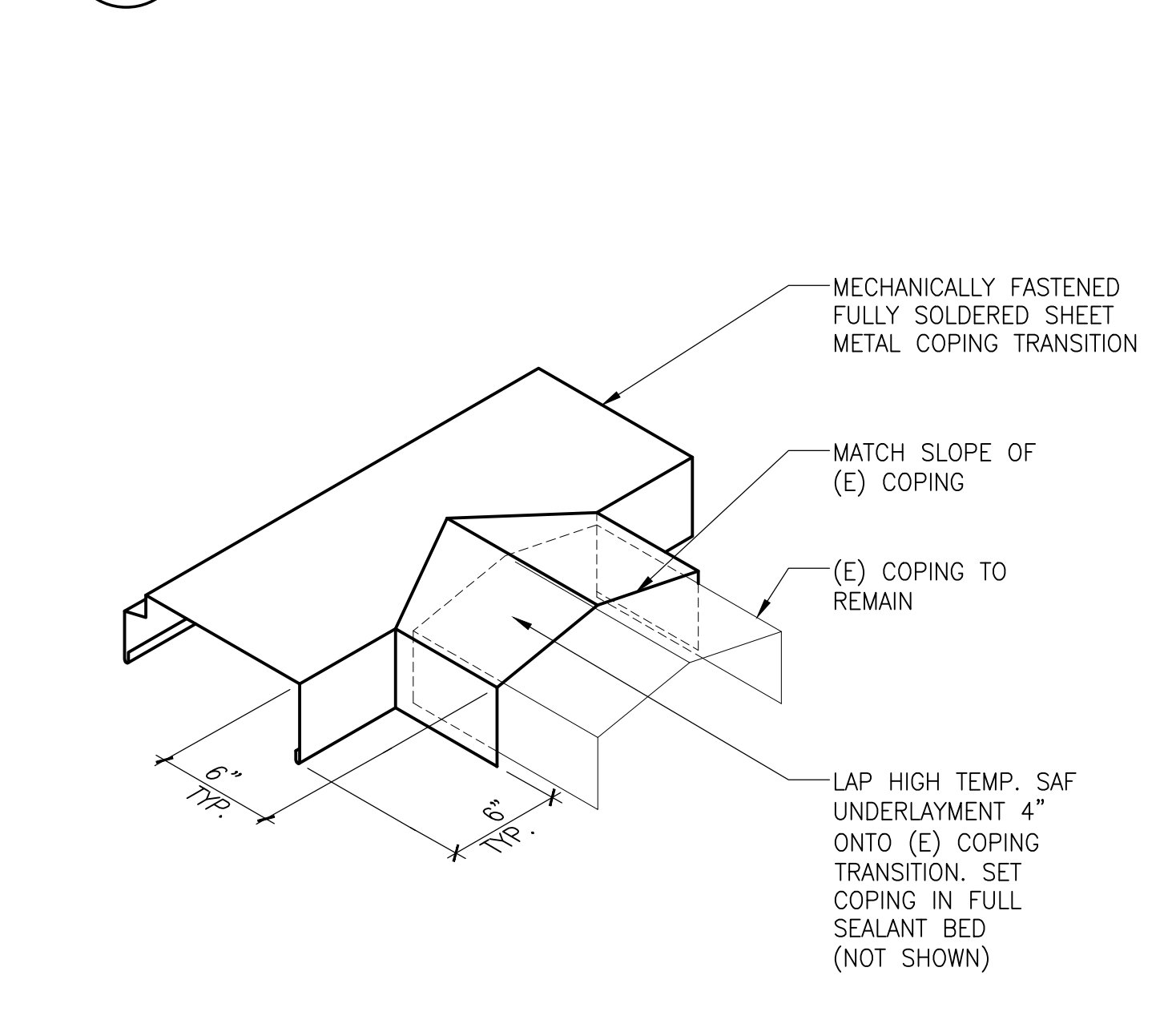
7 PARAPET WALL INTERSECTION ISOMETRIC (STEP 2B - USE WHERE INDICATED)  
SCALE: N.T.S.



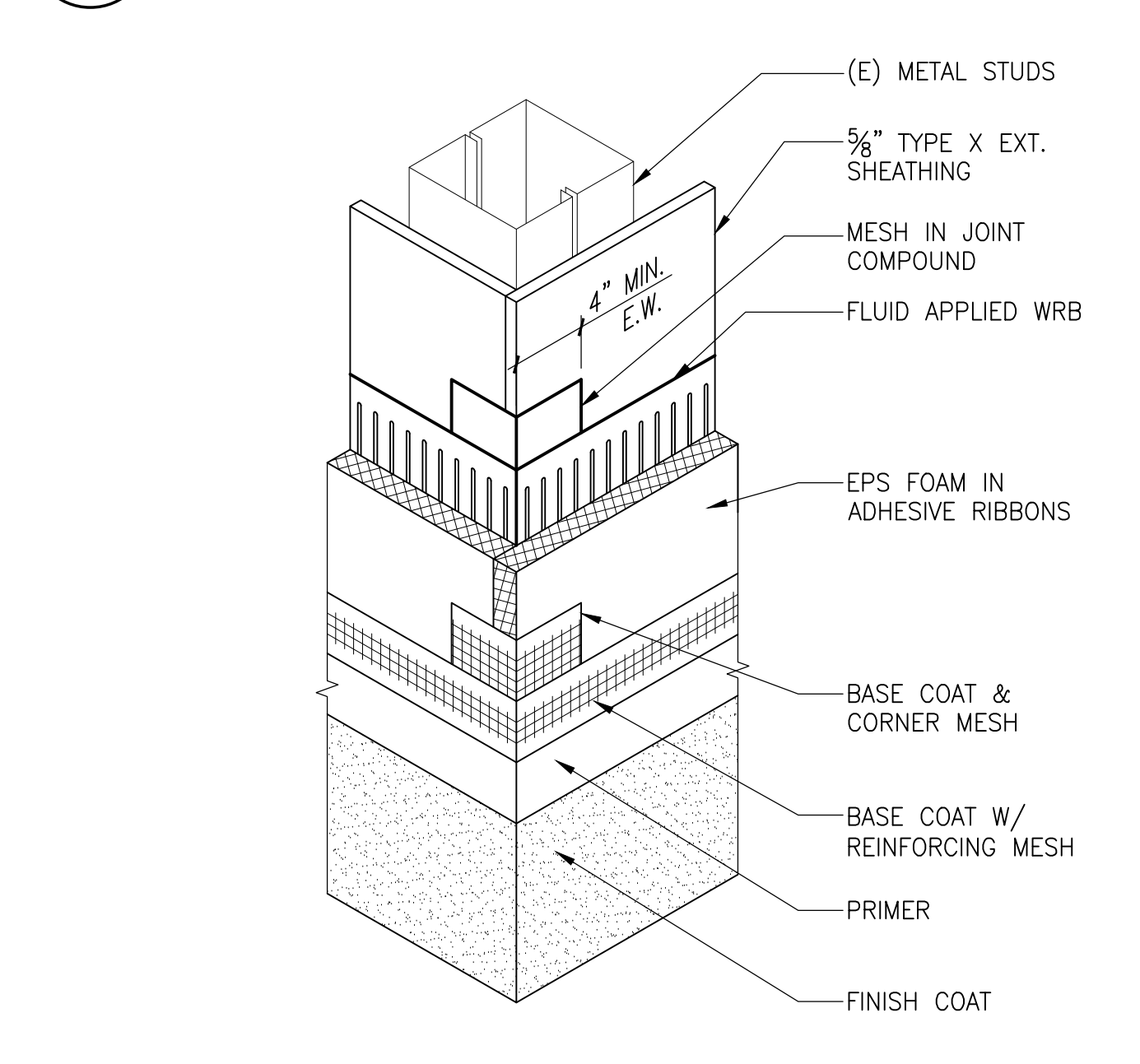
8 PARAPET WALL INTERSECTION ISOMETRIC (STEP 2C - USE WHERE INDICATED)  
SCALE: N.T.S.



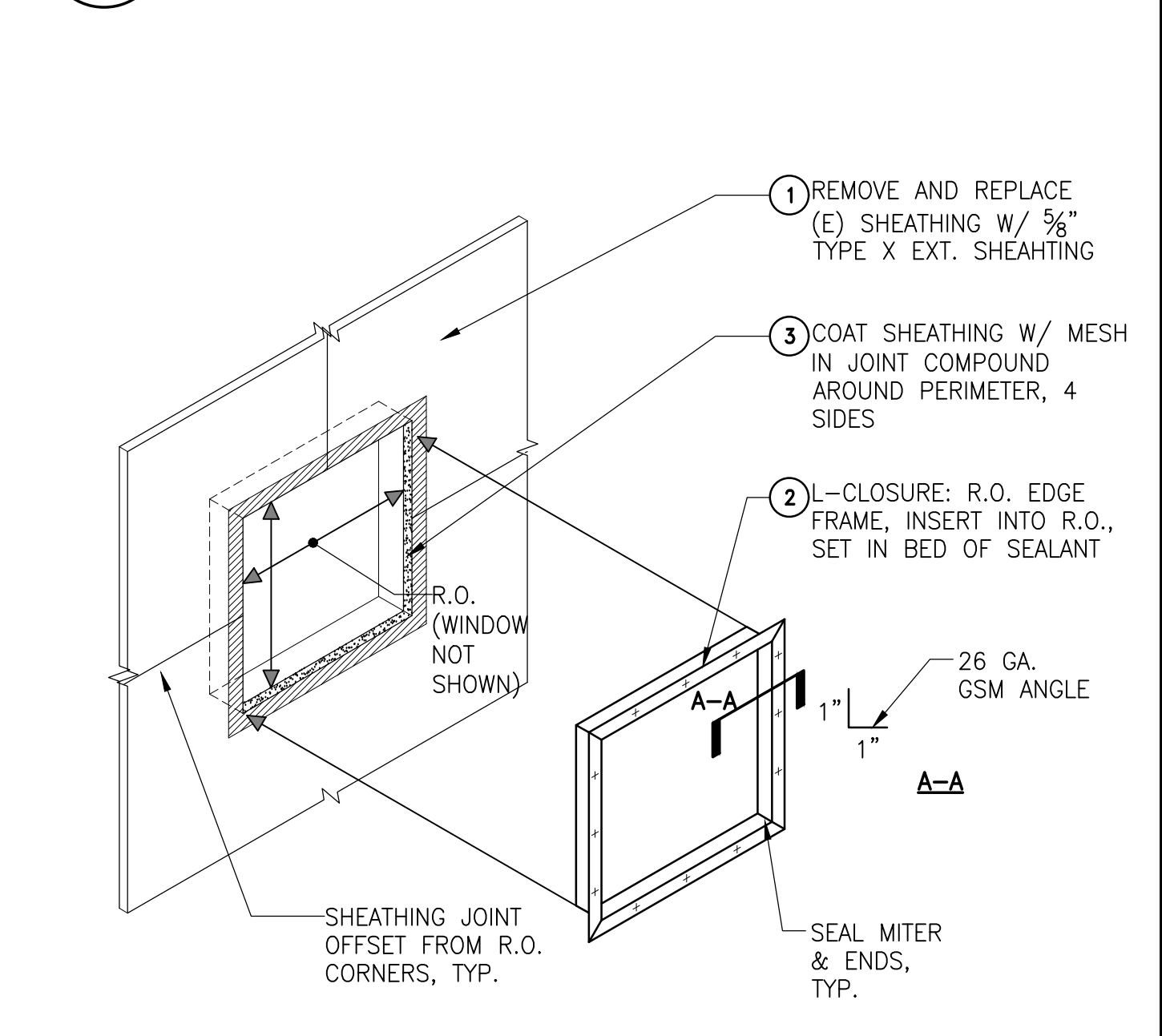
9 PARAPET AT WINDOW SILL  
SCALE: N.T.S.



10 (E) COPING TRANSITION  
SCALE: N.T.S.



11 TYP. OUTSIDE WALL CORNER - ISOMETRIC (INSIDE CORNER, SIM.)  
SCALE: N.T.S.



12 TYP. ROUGH OPENING PREP. SHEATHING & EDGE CLOSURE  
SCALE: N.T.S.

**SIMPSON GUMPERTZ & HEGER**  
Engineering of Structures and Building Enclosures

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Los Angeles, California 90015  
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www.sgh.com

Boston  
Los Angeles  
New York  
San Francisco  
Washington, DC

Consultant

No.	Date	Description	By
0	03/25/16	90% Progress Print for Owner Review	ALH
1	04/18/16	Plan Check Submission	ALH
2	07/20/16	Plan Check Re-Submission	ALH
3	11/20/17	Bid Set	ALH
01/30/18		Prebid RFI #1	ALH

**EIFS EXTERIOR WALL REPLACEMENT**  
**EDMUND D. EDELMAN CHILDREN'S COURT**  
201 CENTRE PLAZA DRIVE  
MONTEREY PARK, CA 91754

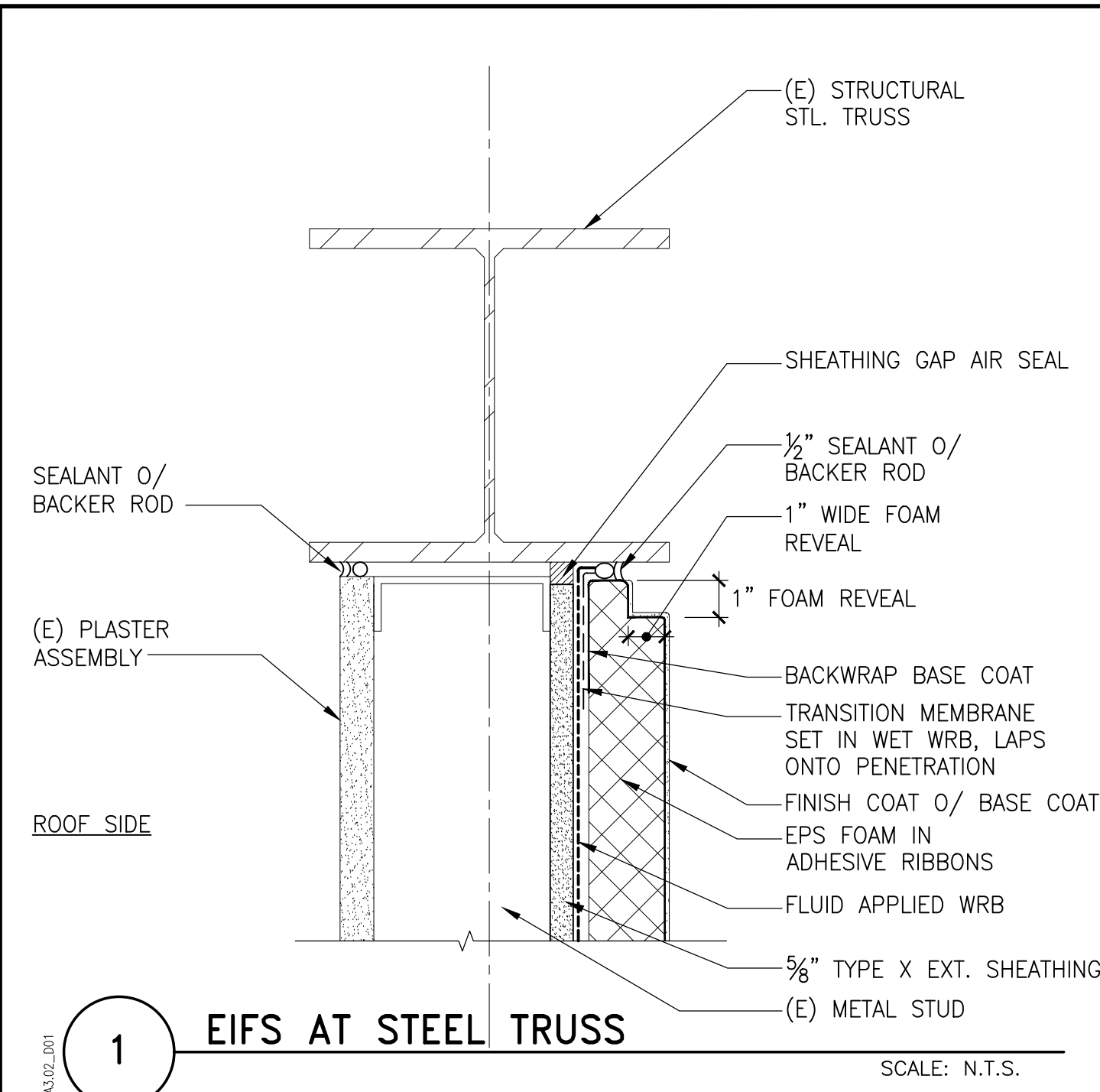
**EXTERIOR WALL DETAILS**

Drawing Title

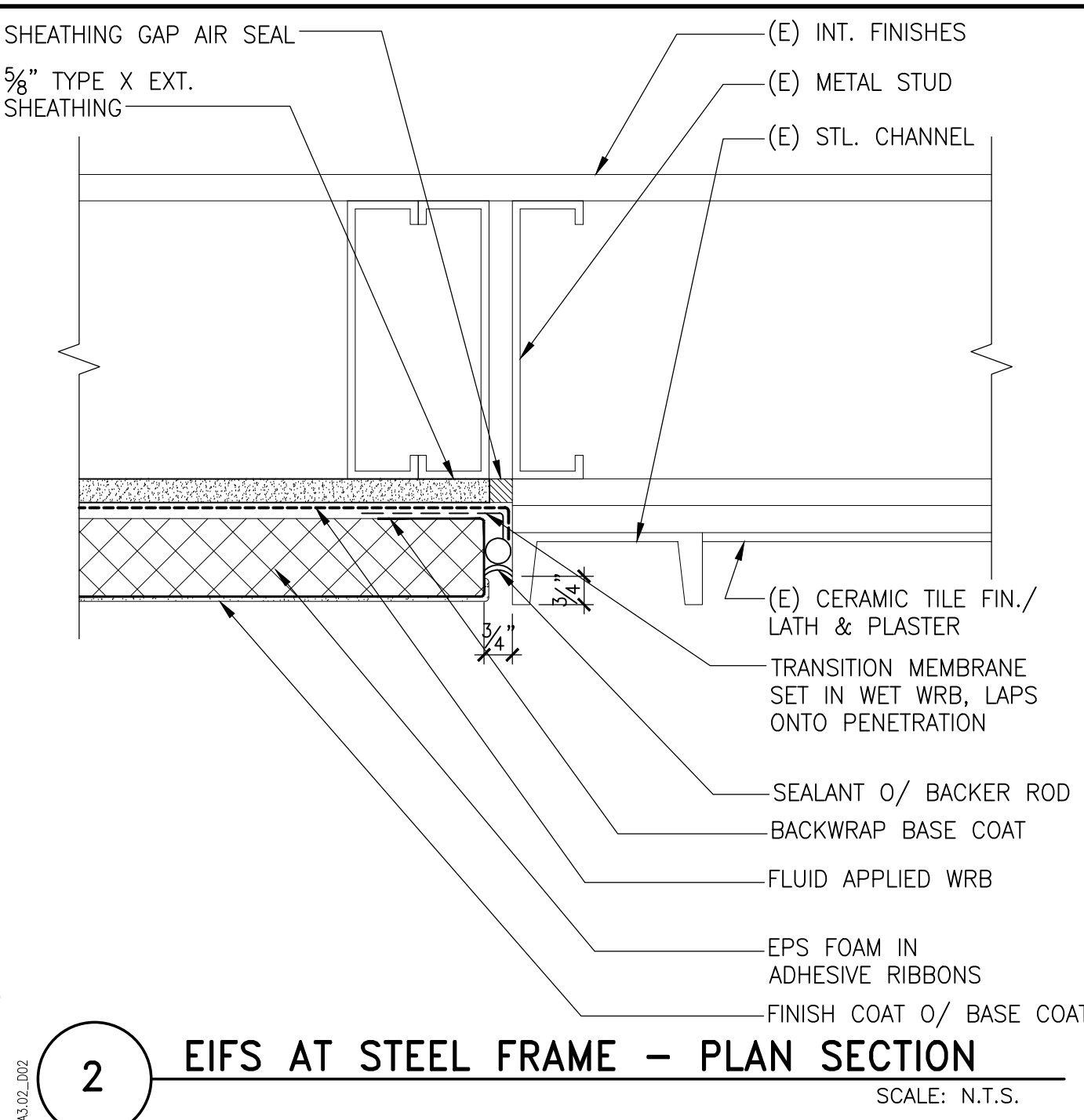
Project 158008.01	Checked RNU	Date 01/30/18
Drawn PA	Approved ALH	Scale AS NOTED
Drawing No. <b>A3.01</b>		

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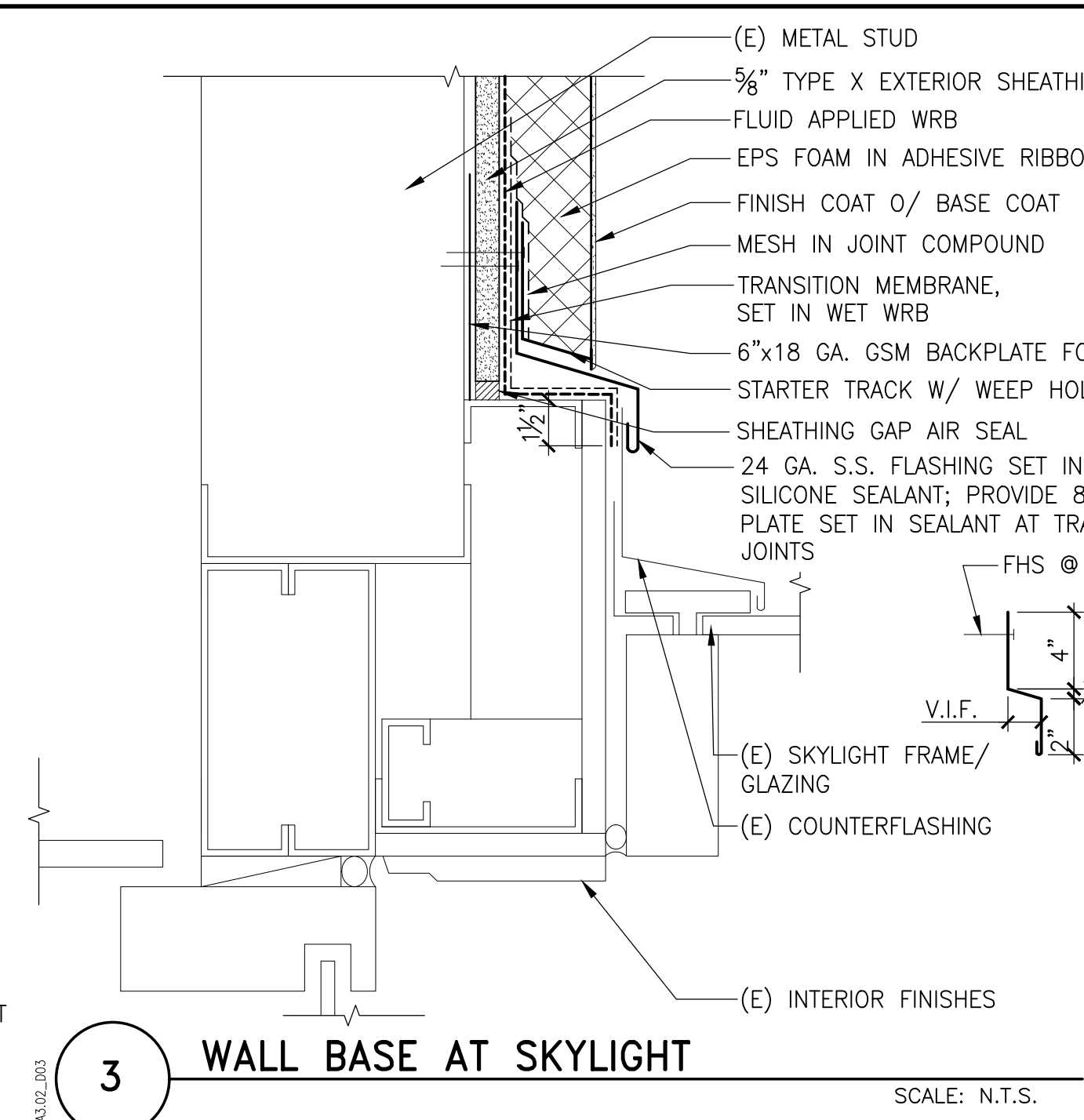
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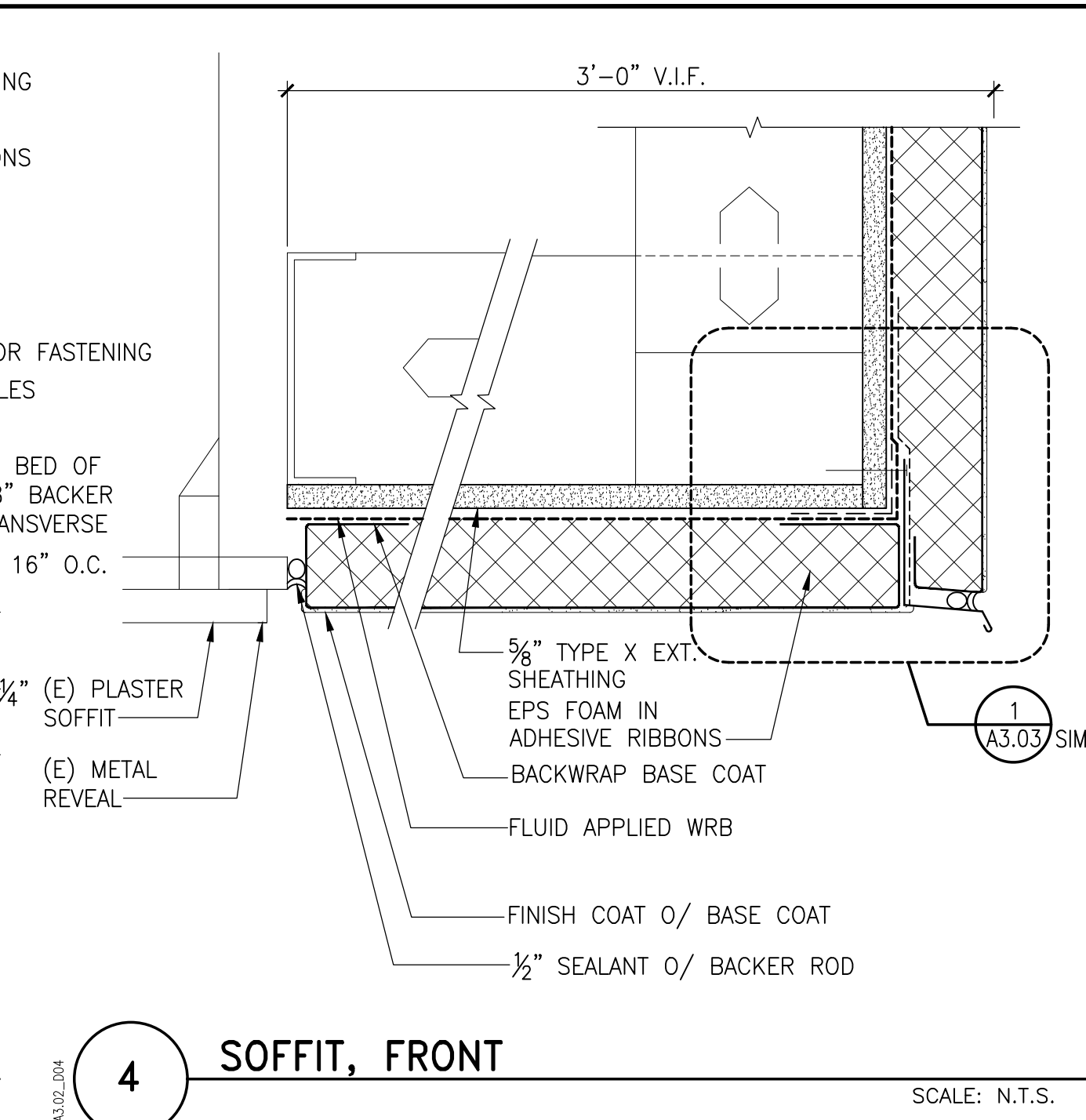
**1 EIFS AT STEEL TRUSS**  
SCALE: N.T.S.



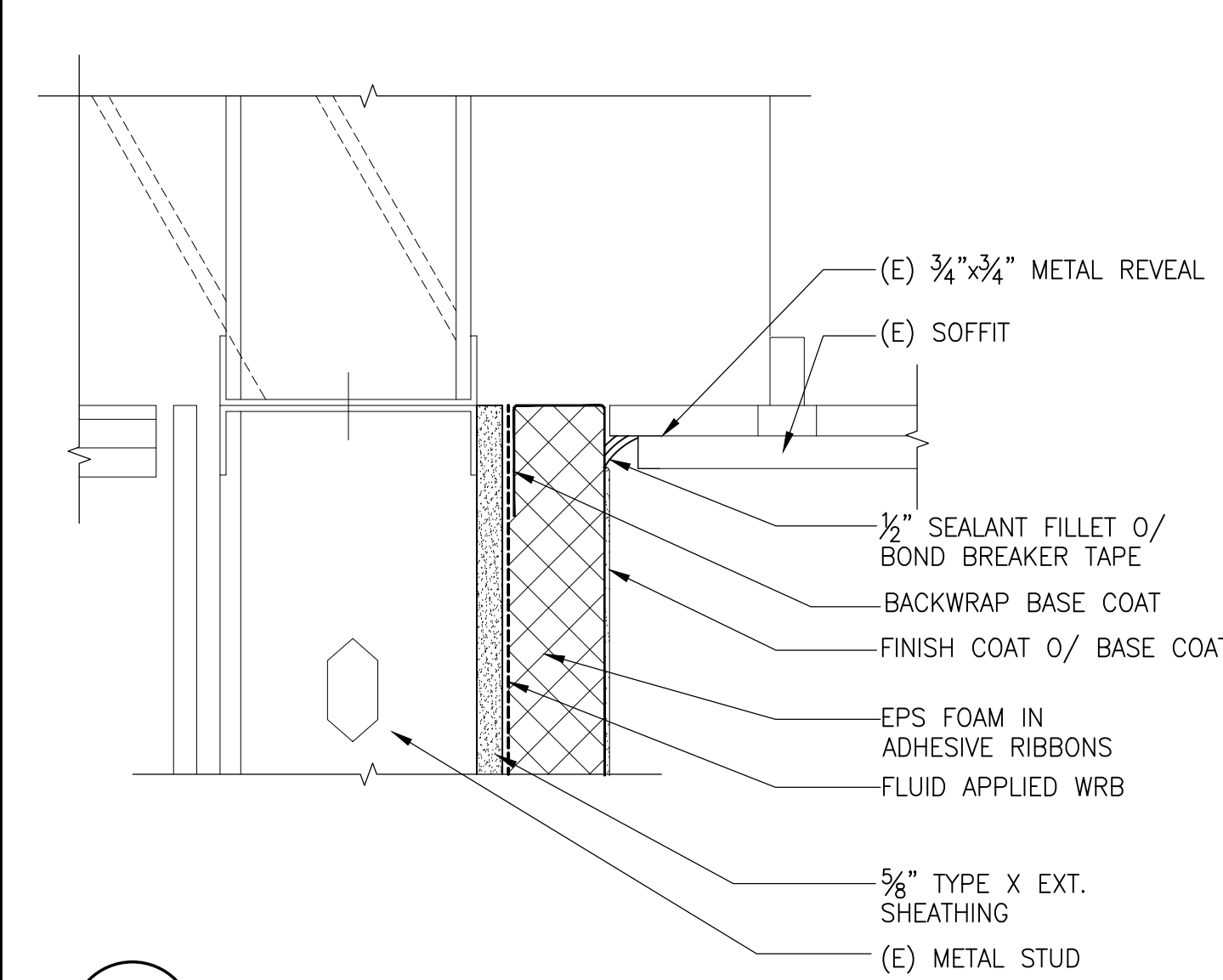
**2 EIFS AT STEEL FRAME - PLAN SECTION**  
SCALE: N.T.S.



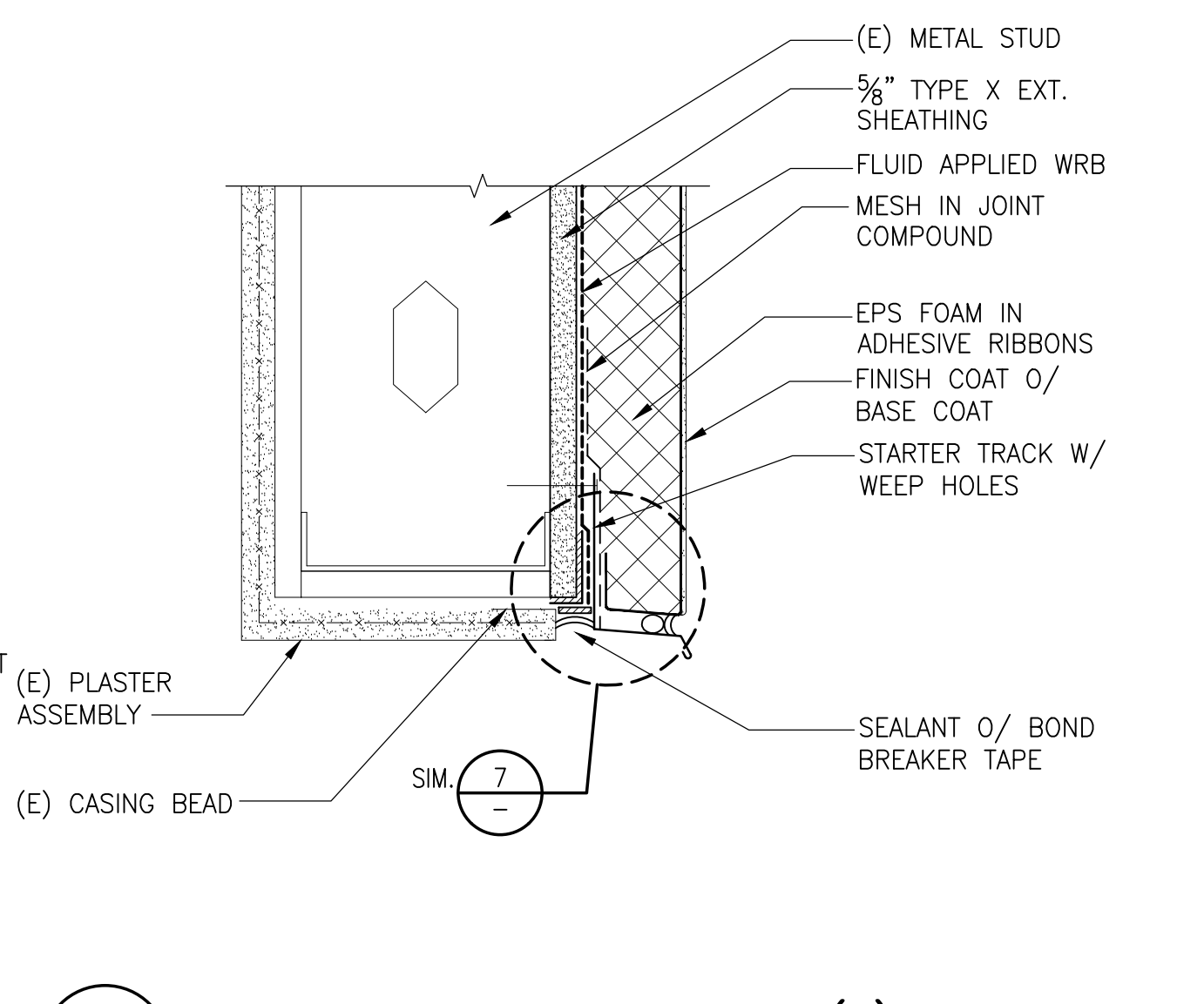
**3 WALL BASE AT SKYLIGHT**  
SCALE: N.T.S.



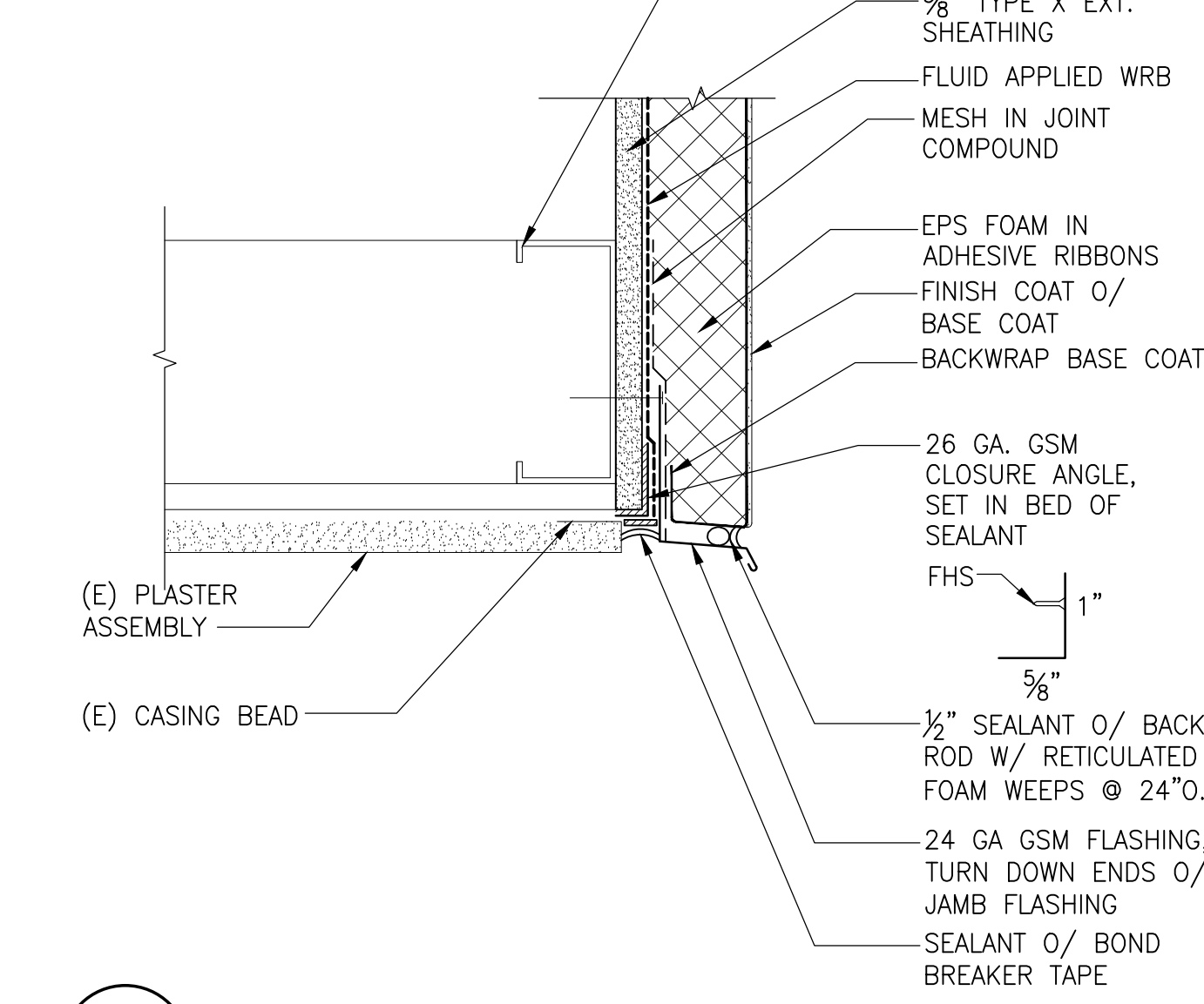
**4 SOFFIT, FRONT**  
SCALE: N.T.S.



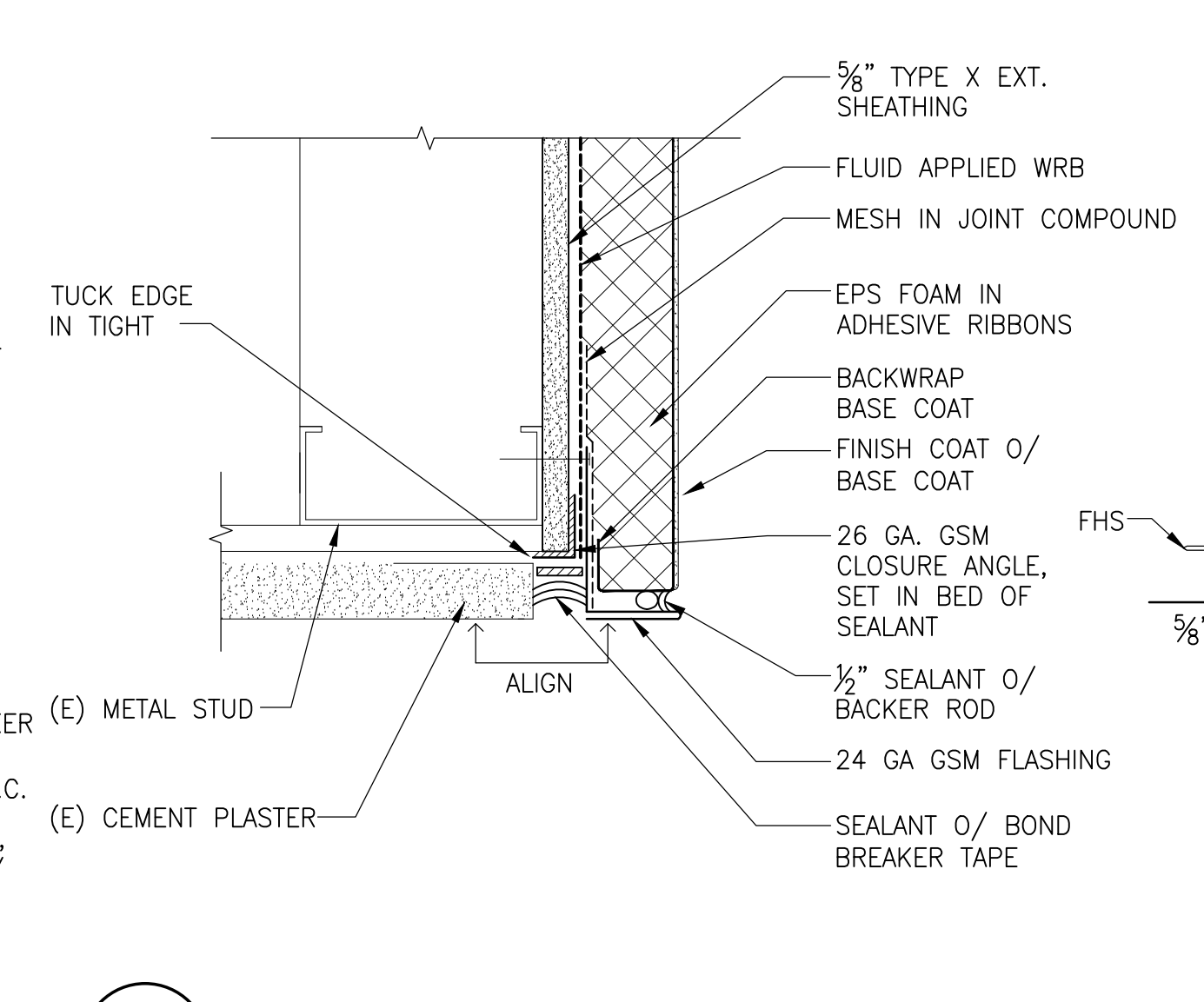
**5 SOFFIT, BACK**  
SCALE: N.T.S.



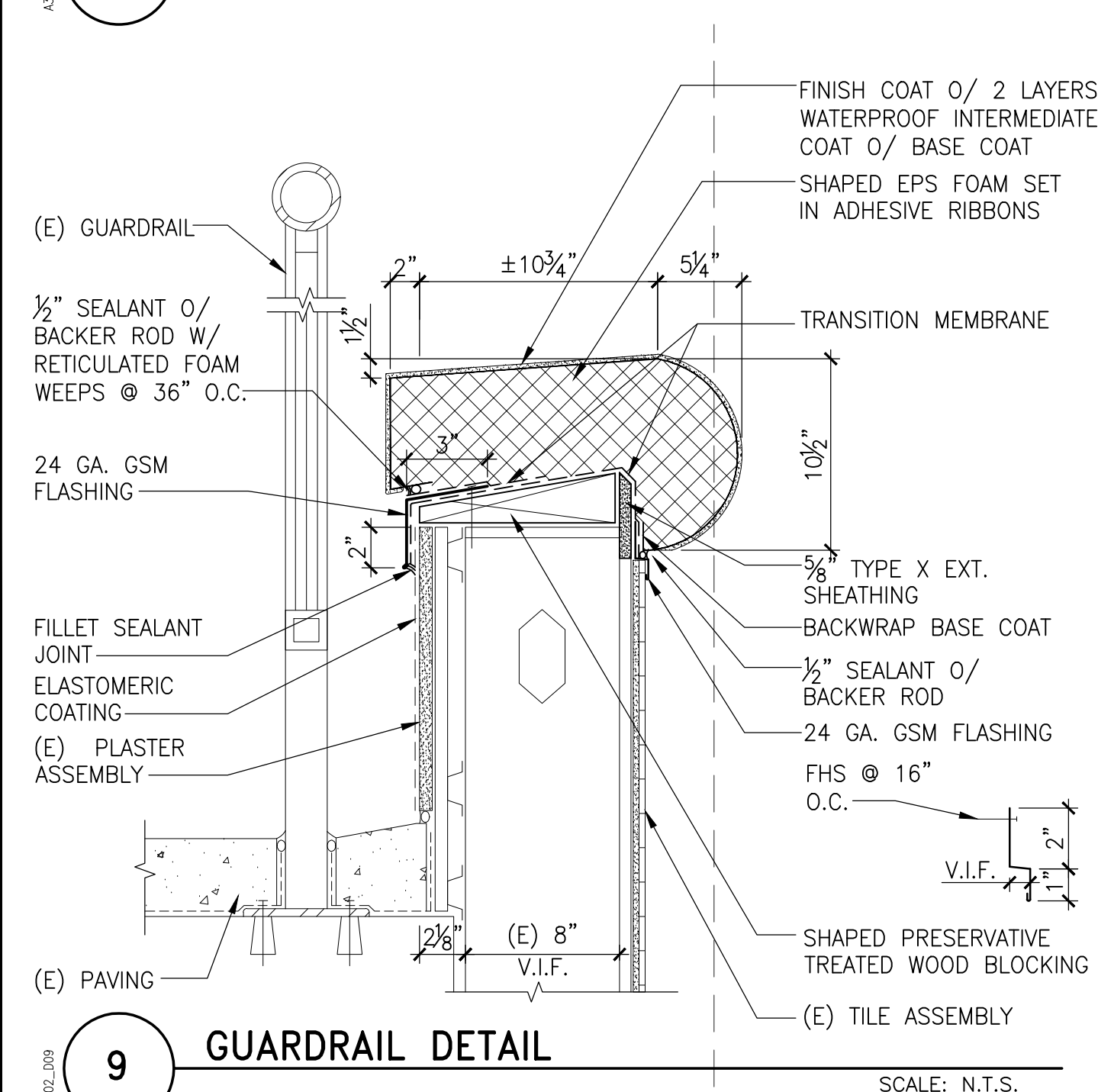
**6 HEAD AT WALL OPENING W (E) PLASTER**  
SCALE: N.T.S.



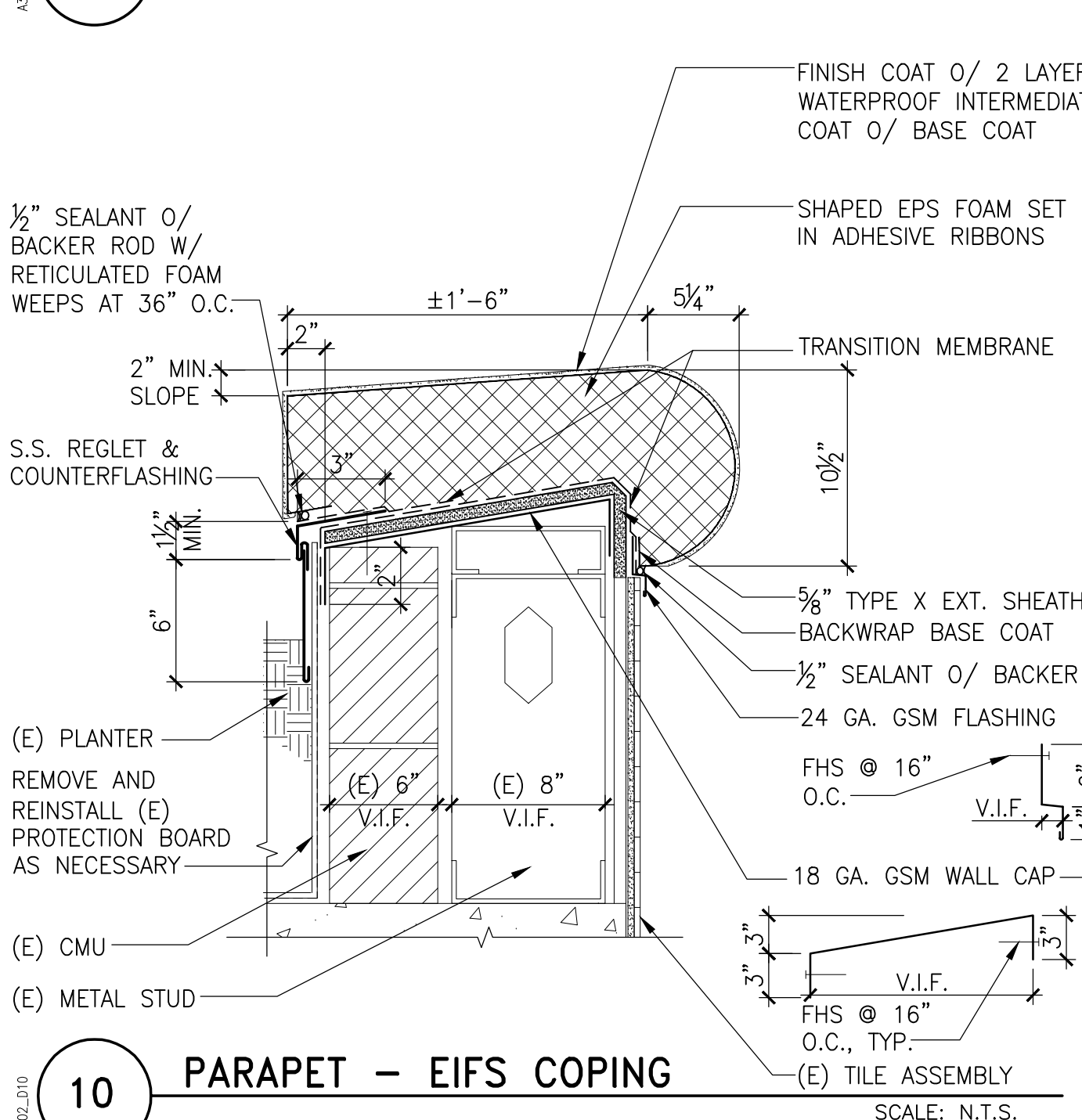
**7 SOFFIT AT MECH. SCREEN**  
SCALE: N.T.S.



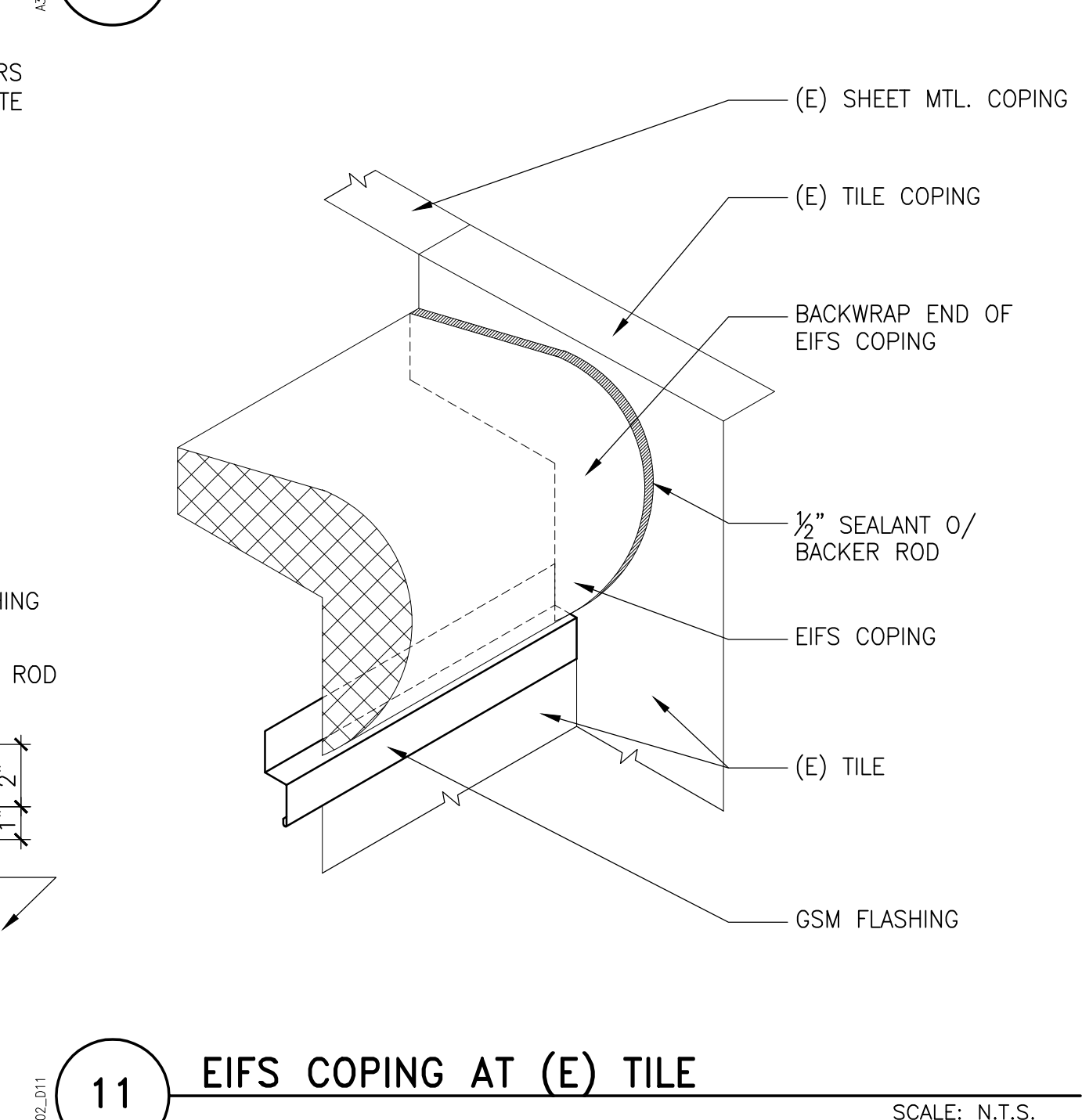
**8 VERT. EDGE BELOW MECH. SCREEN PLAN SECTION**  
SCALE: N.T.S.



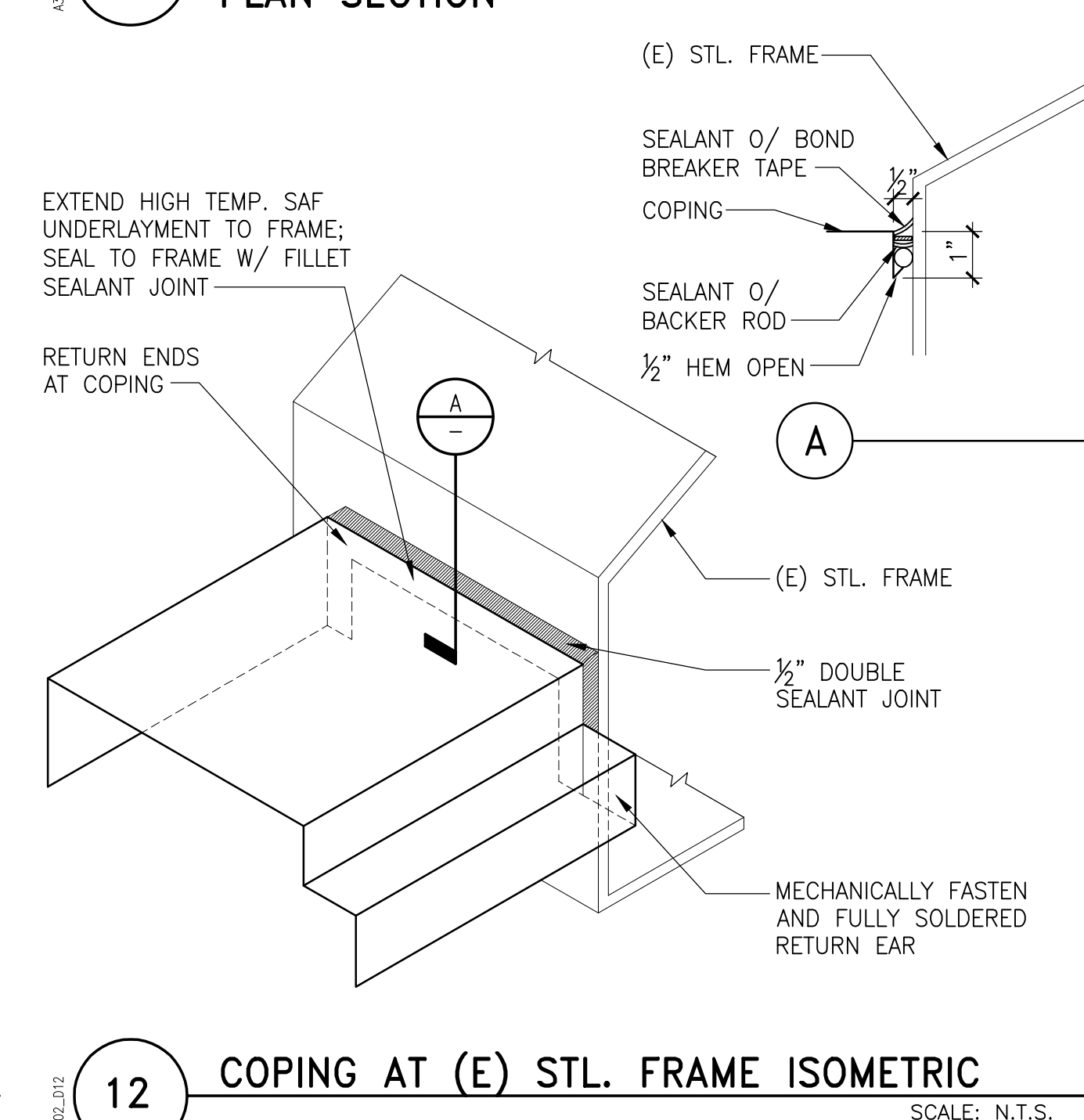
**9 GUARDRAIL DETAIL**  
SCALE: N.T.S.



**10 PARAPET - EIFS COPING**  
SCALE: N.T.S.



**11 EIFS COPING AT (E) TILE**  
SCALE: N.T.S.



**12 COPING AT (E) STL. FRAME ISOMETRIC**  
SCALE: N.T.S.

No.	Date	Description	By
01/30/18		Prebid RFI #1	ALH
3	11/20/17	Bid Set	ALH
2	07/20/16	Plan Check Re-Submission	ALH
1	04/18/16	Plan Check Submission	ALH
0	03/25/16	90% Progress Print for Owner Review	ALH

**EIFS EXTERIOR WALL REPLACEMENT**  
**EDMUND D. EDELMAN CHILDREN'S COURT**  
201 CENTRE PLAZA DRIVE  
MONTEREY PARK, CA 91754

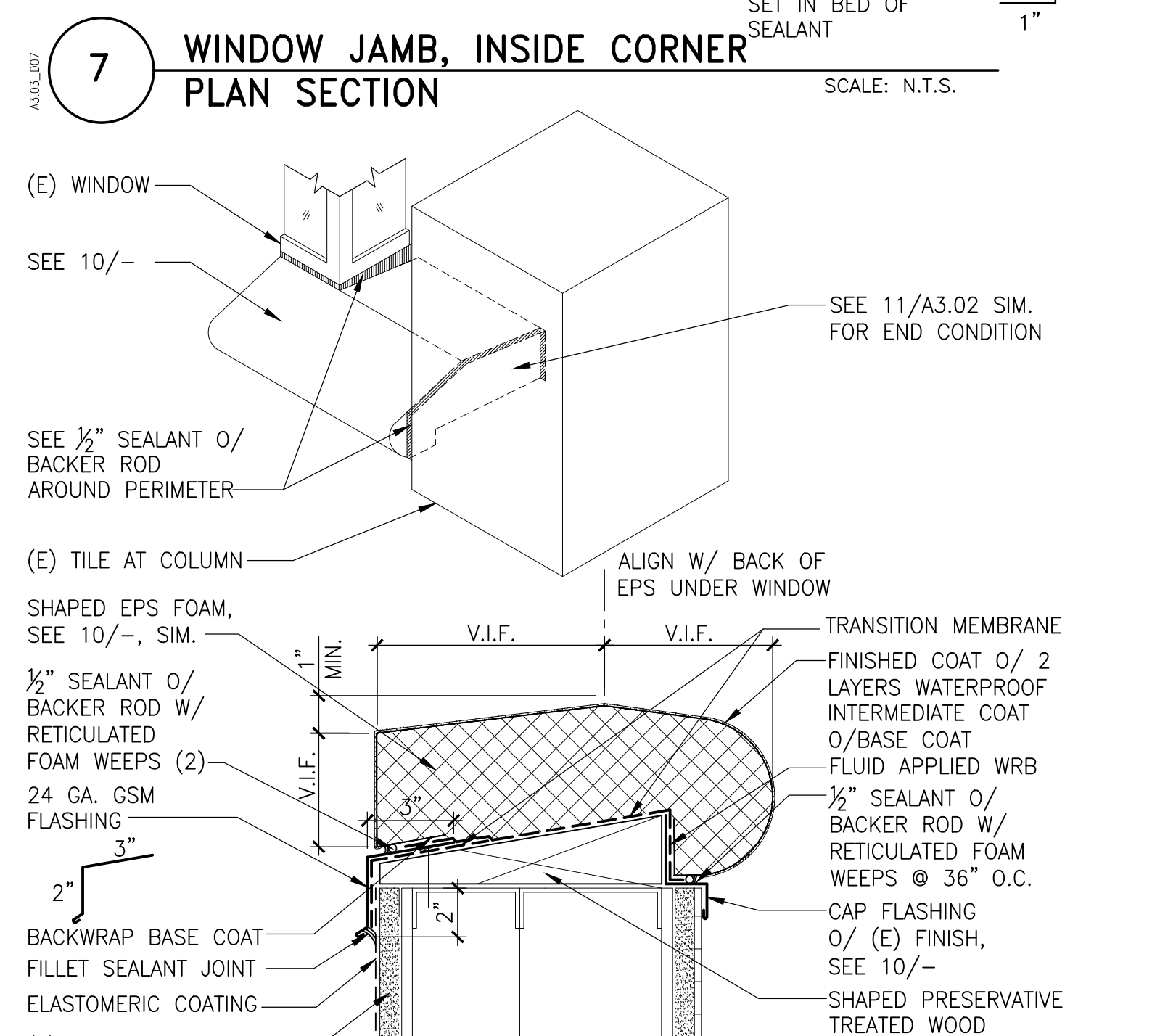
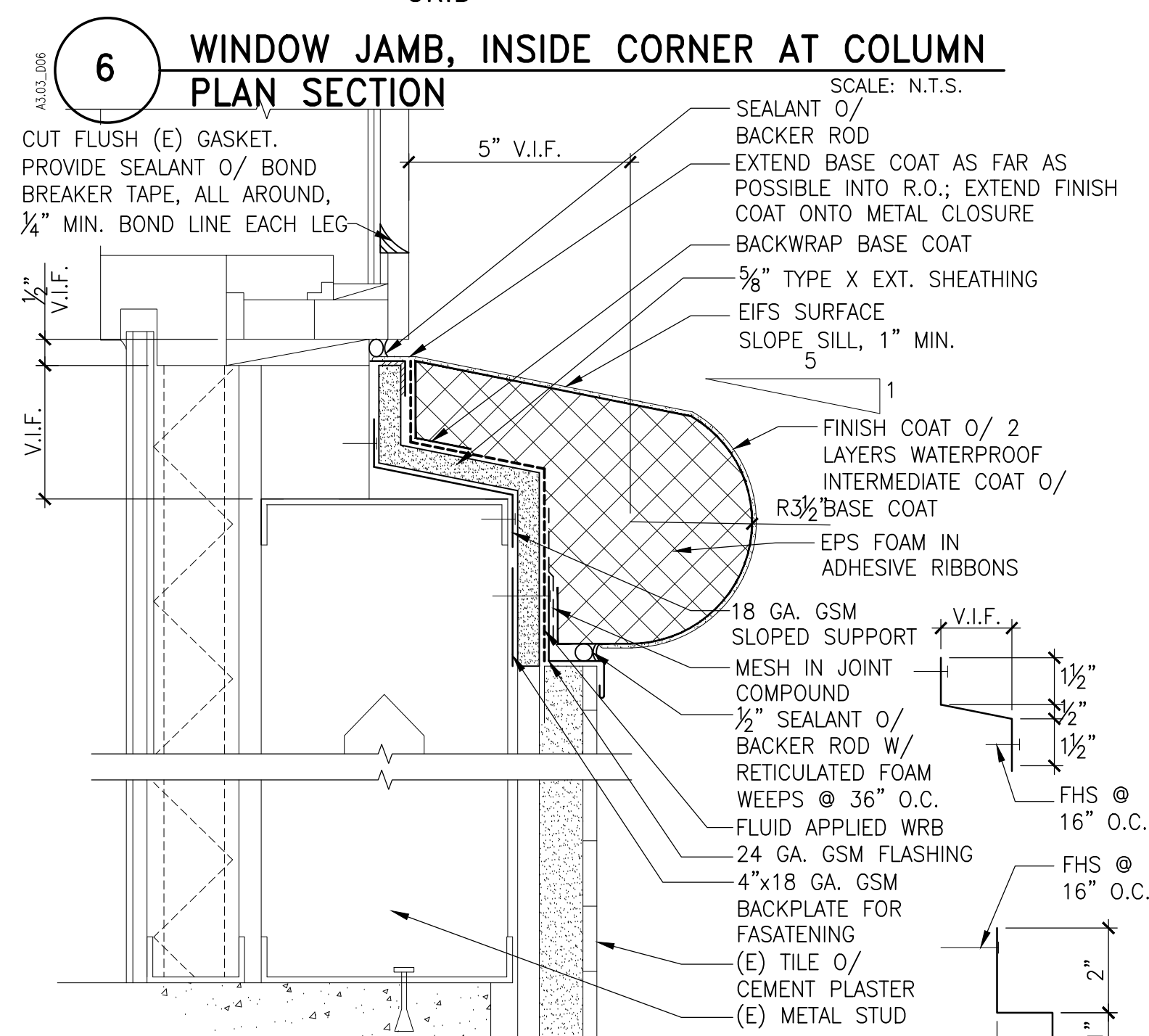
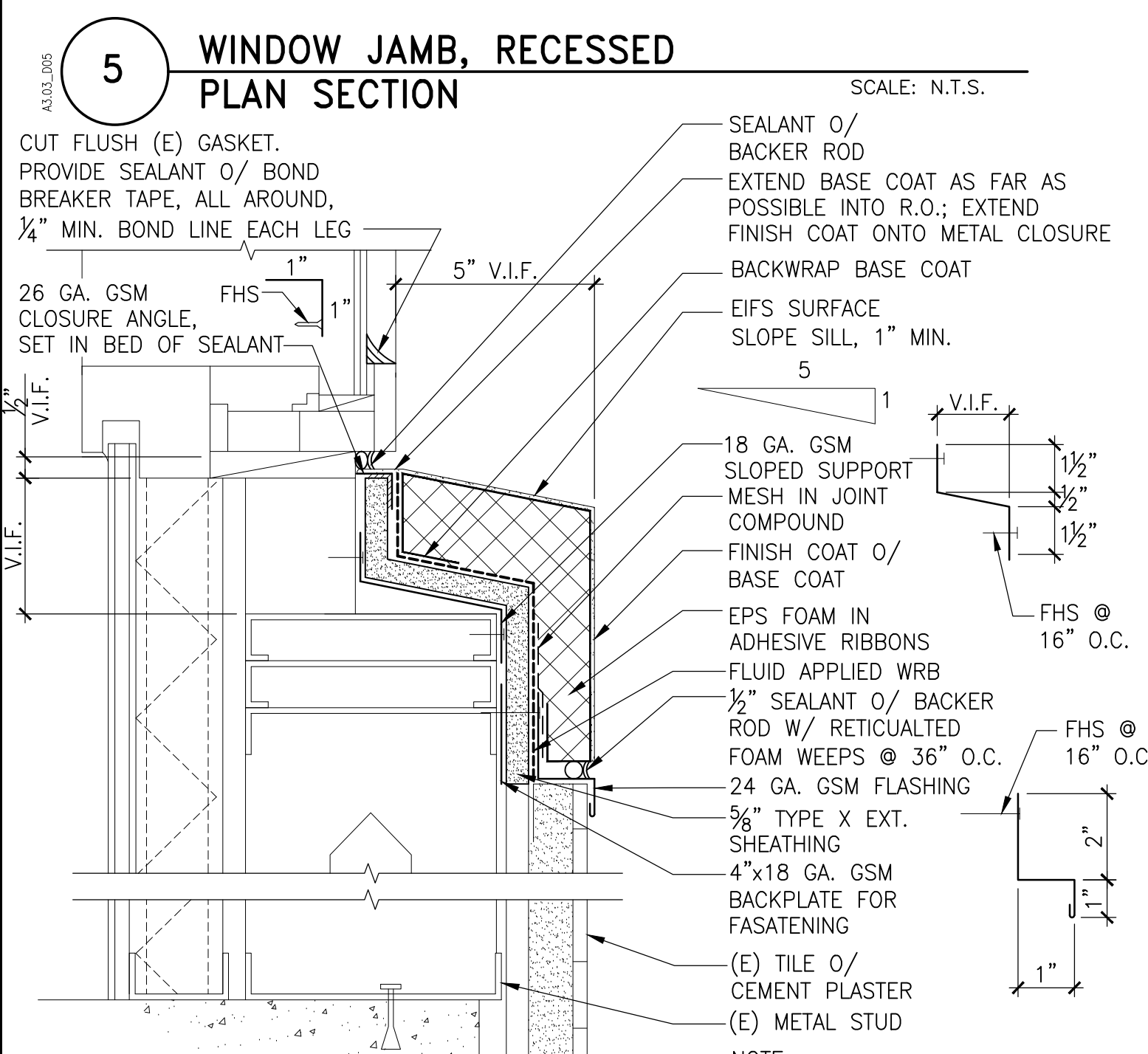
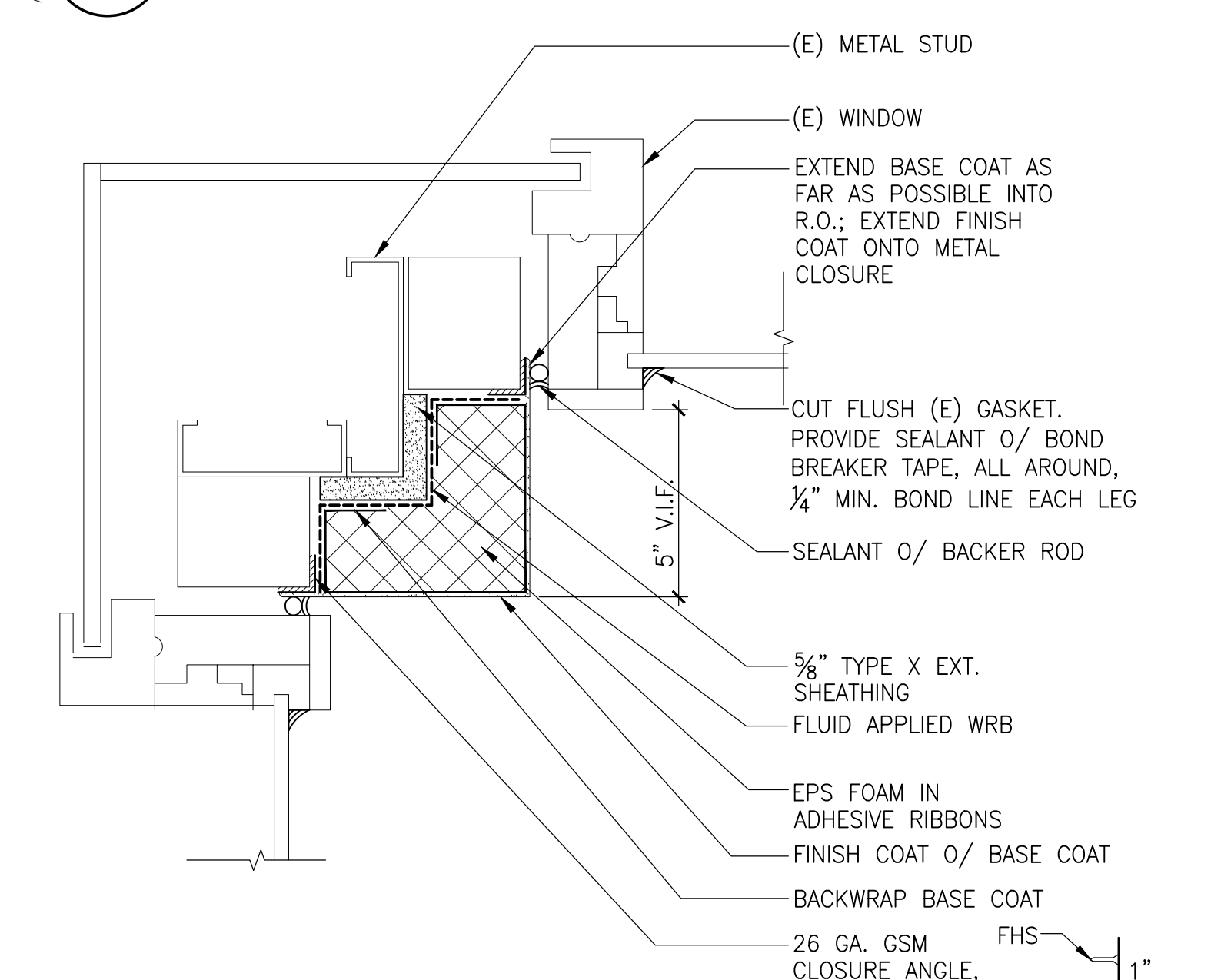
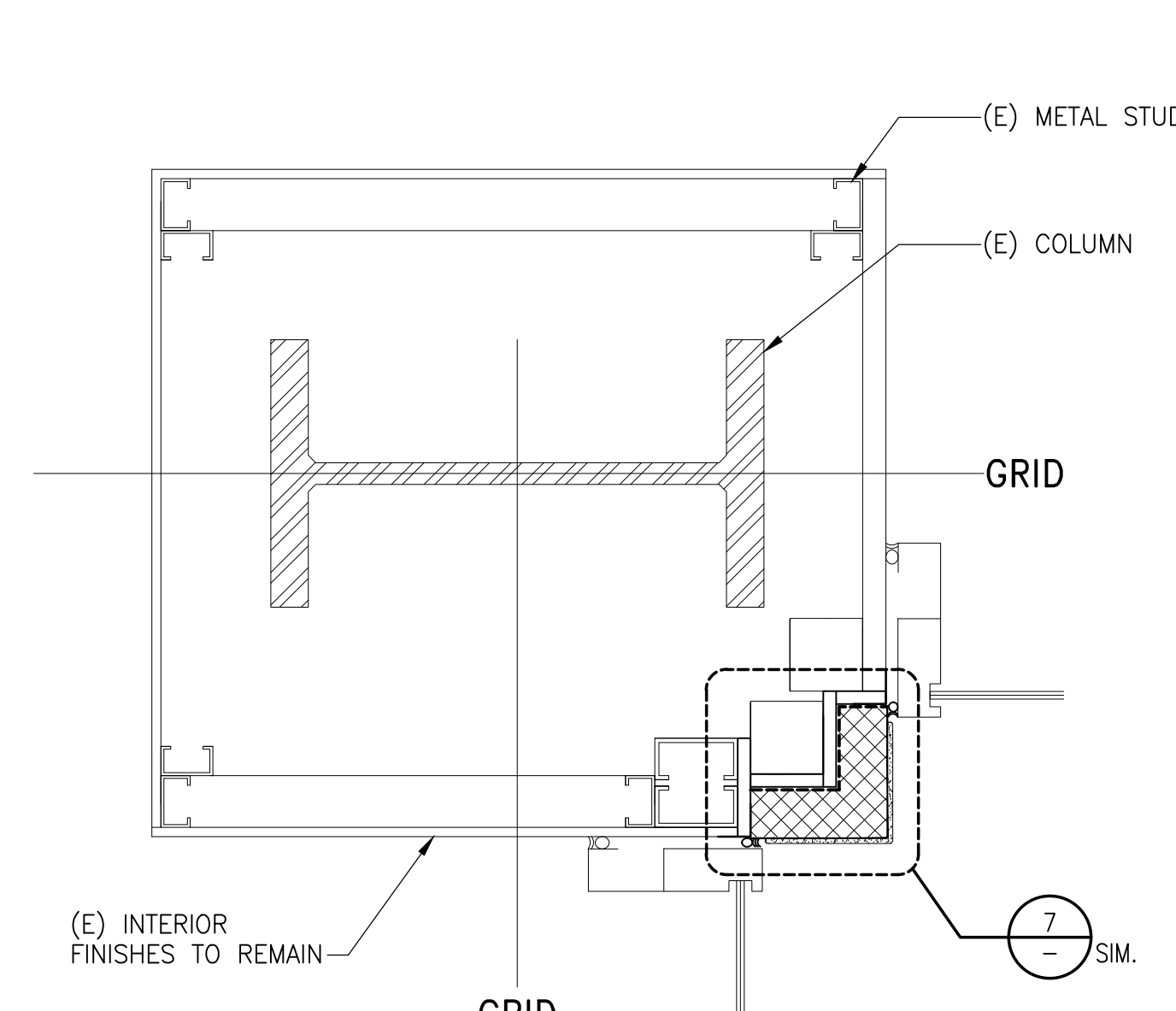
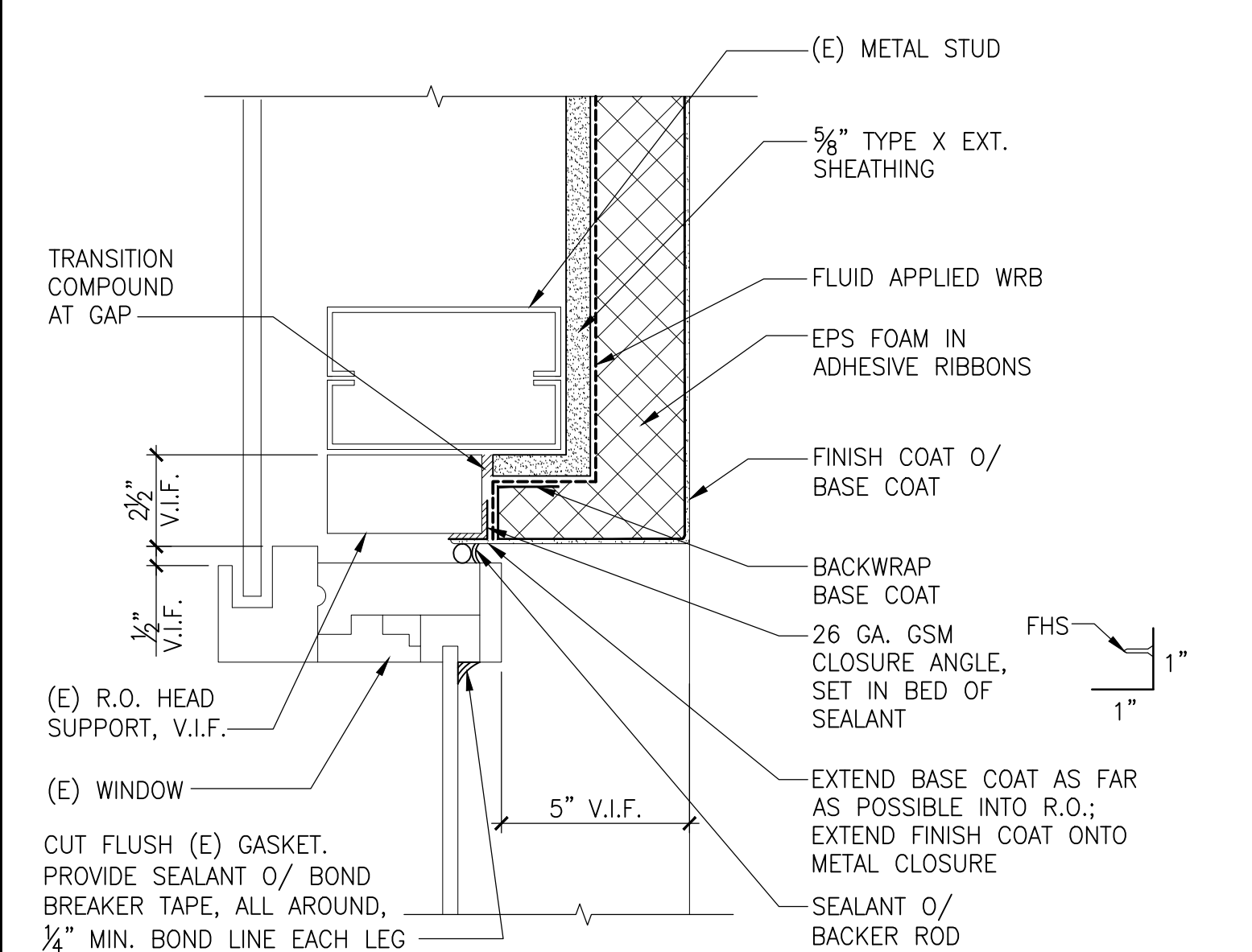
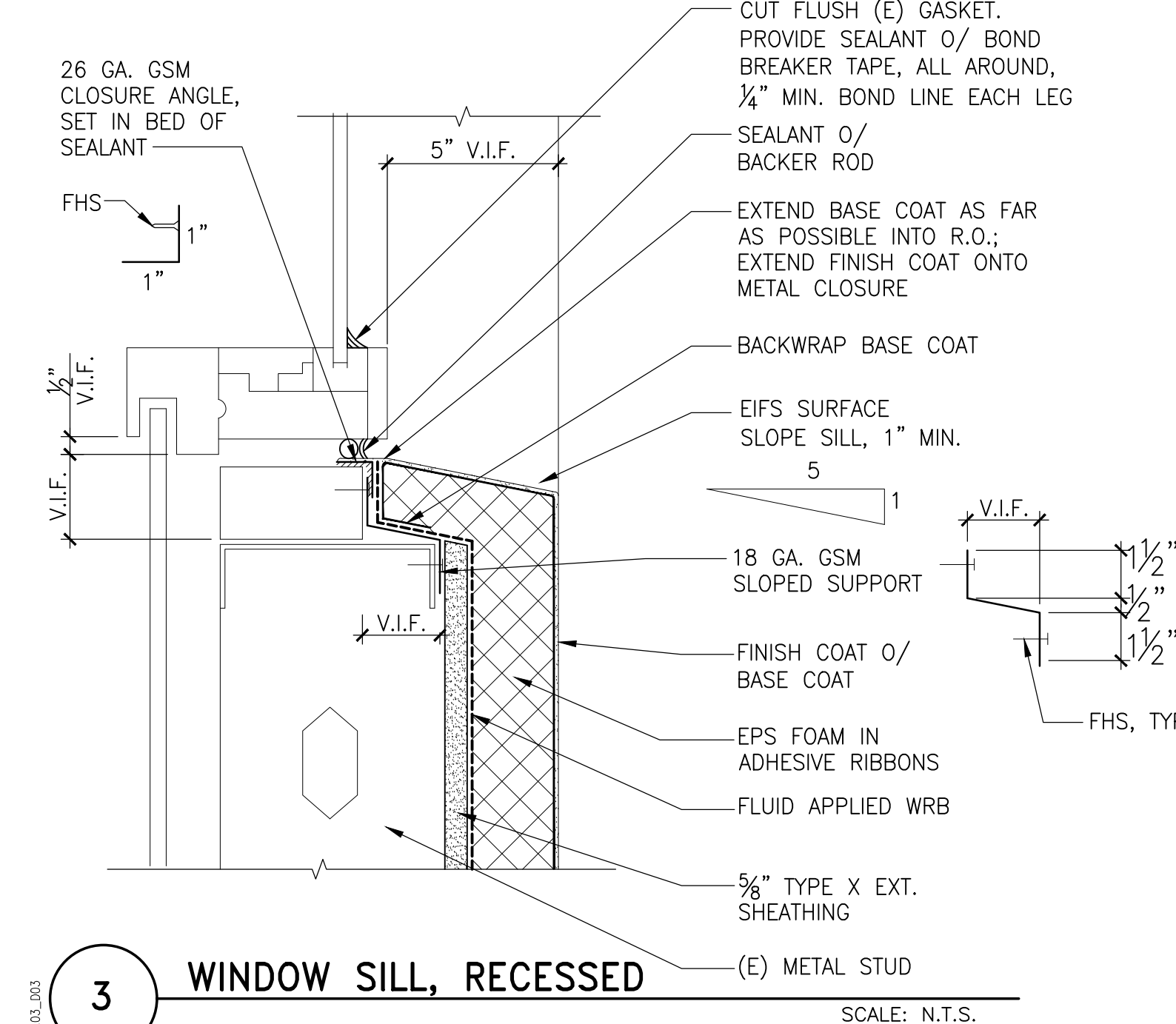
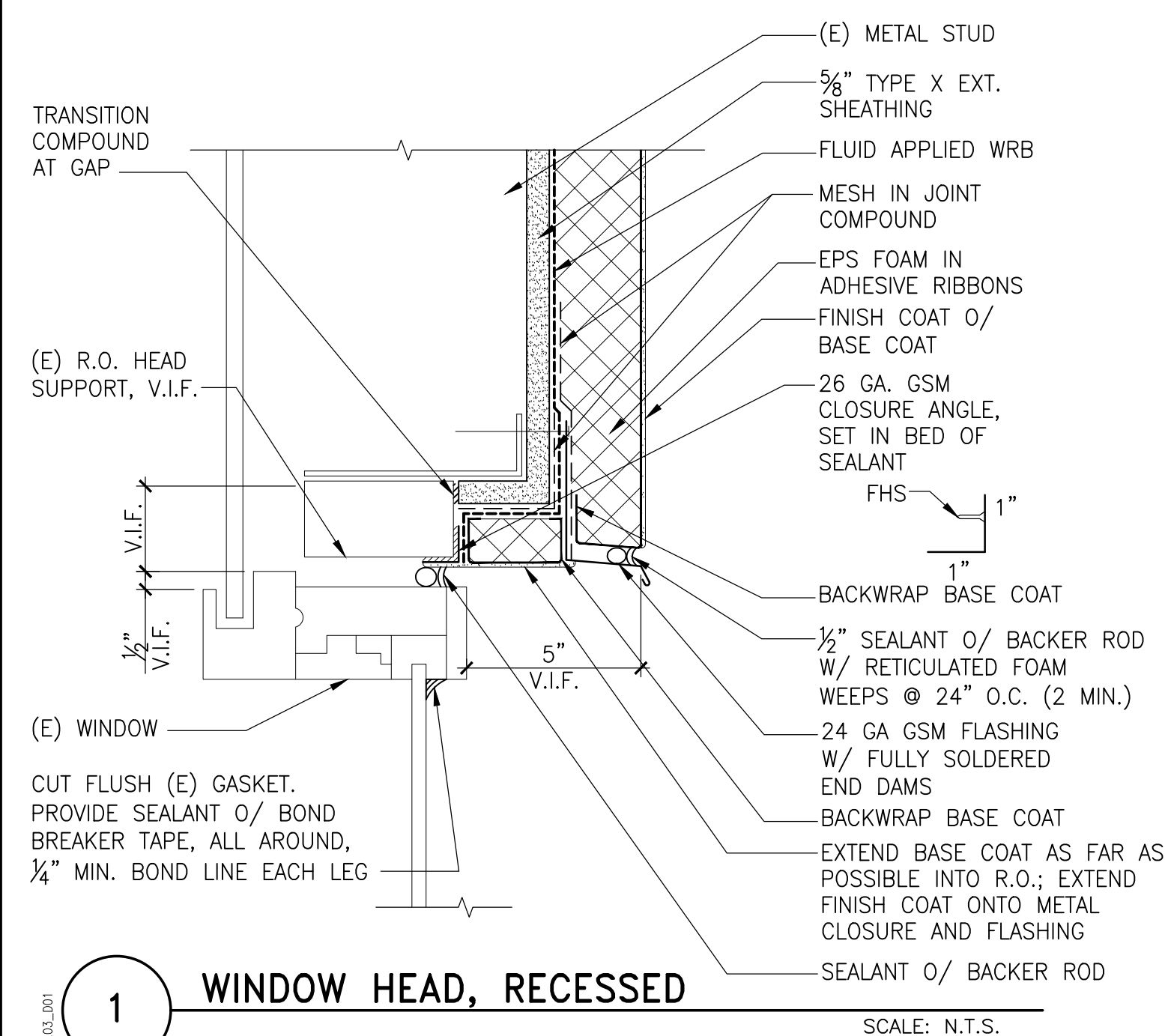
**EXTERIOR WALL DETAILS**

Project 158008.01	Checked RNU	Date 01/30/18
Drawn PA	Approved ALH	Scale AS NOTED
Drawing No.		

**A3.02**

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Consultant



No.	Date	Description	By
0	03/25/16	90% Progress Print for Owner Review	ALH
1	04/18/16	Plan Check Submission	ALH
2	07/20/16	Plan Check Re-Submission	ALH
3	11/20/17	Bid Set	ALH
01/30/18		Prebid RFI #1	ALH

**EIFS EXTERIOR WALL REPLACEMENT**  
**EDMUND D. EDELMAN CHILDREN'S COURT**  
201 CENTRE PLAZA DRIVE  
MONTEREY PARK, CA 91754  
Project

**EXTERIOR WALL DETAILS**

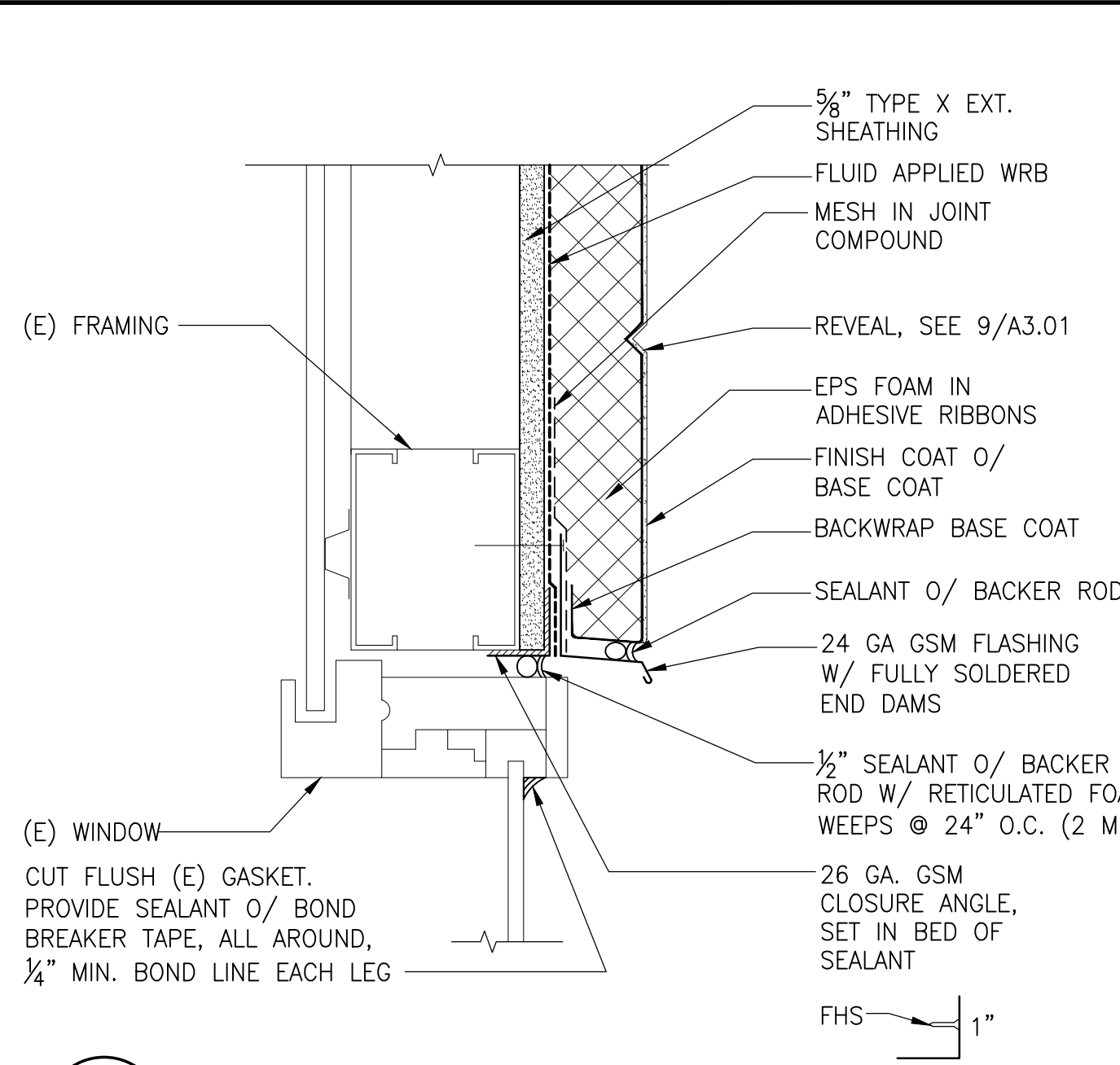
Drawing Title

Project	158008.01	Checked	RNU	Date	01/30/18
Drawn	PA	Approved	ALH	Scale	AS NOTED

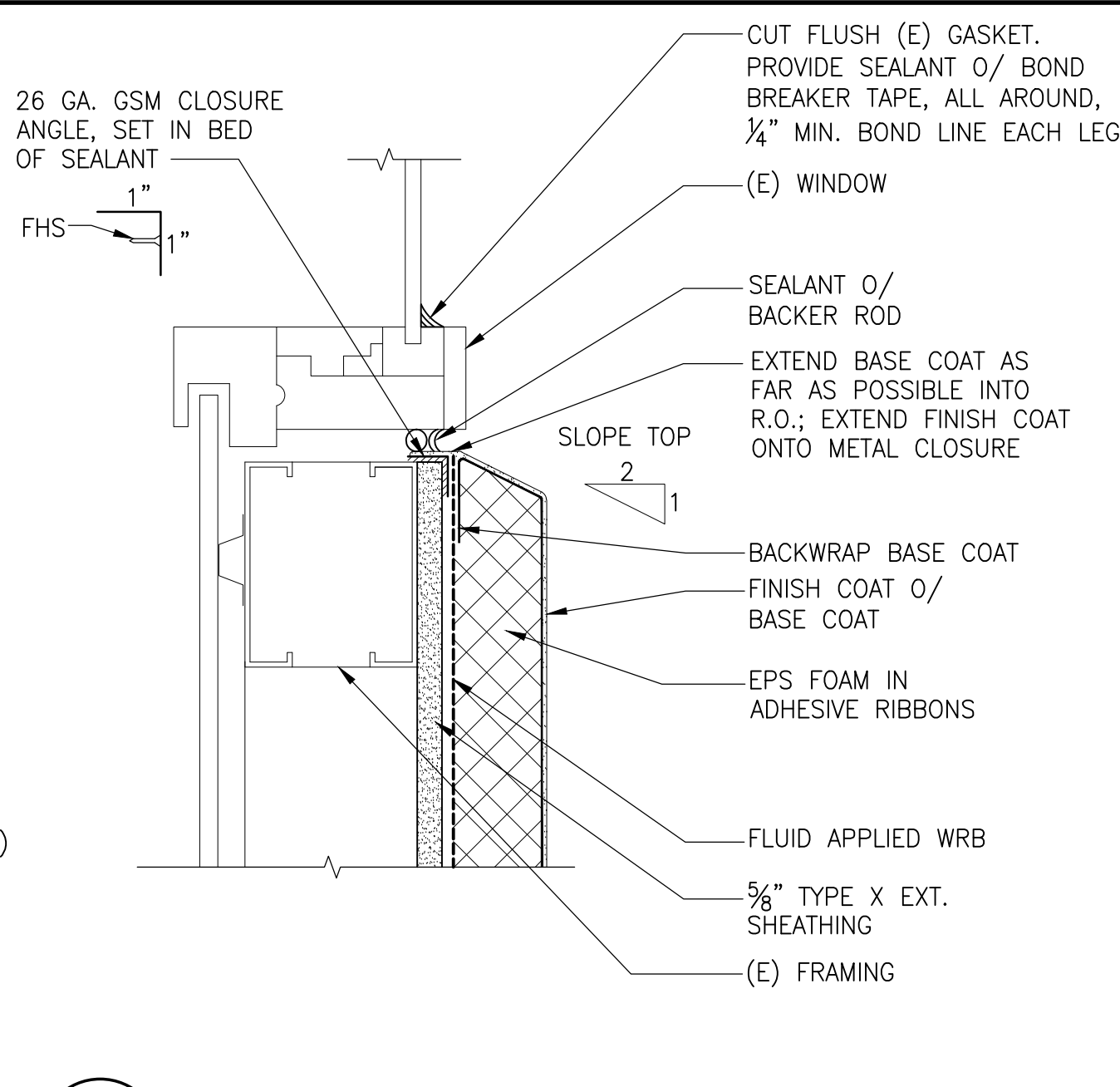
Drawing No.

**A3.03**

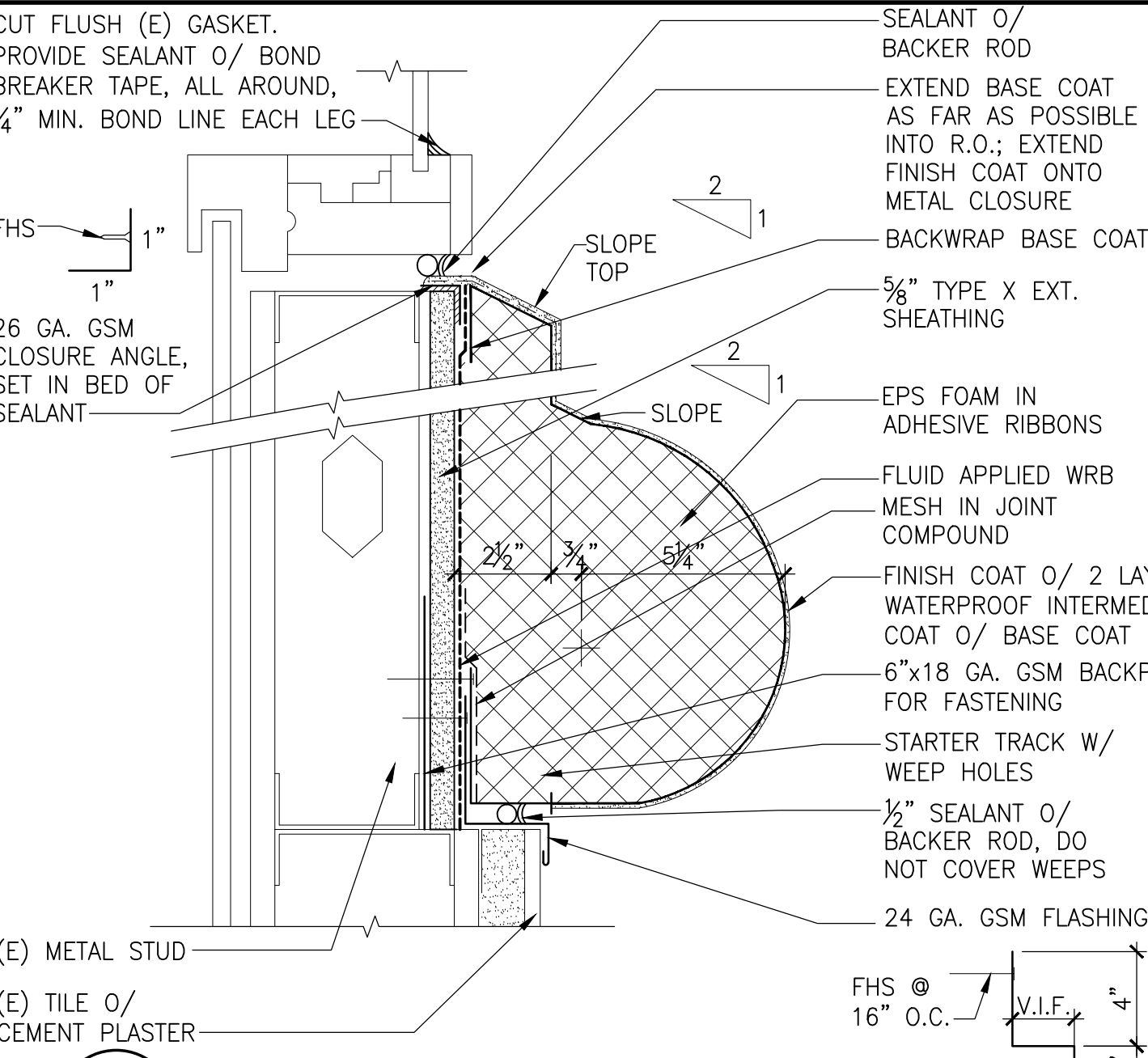
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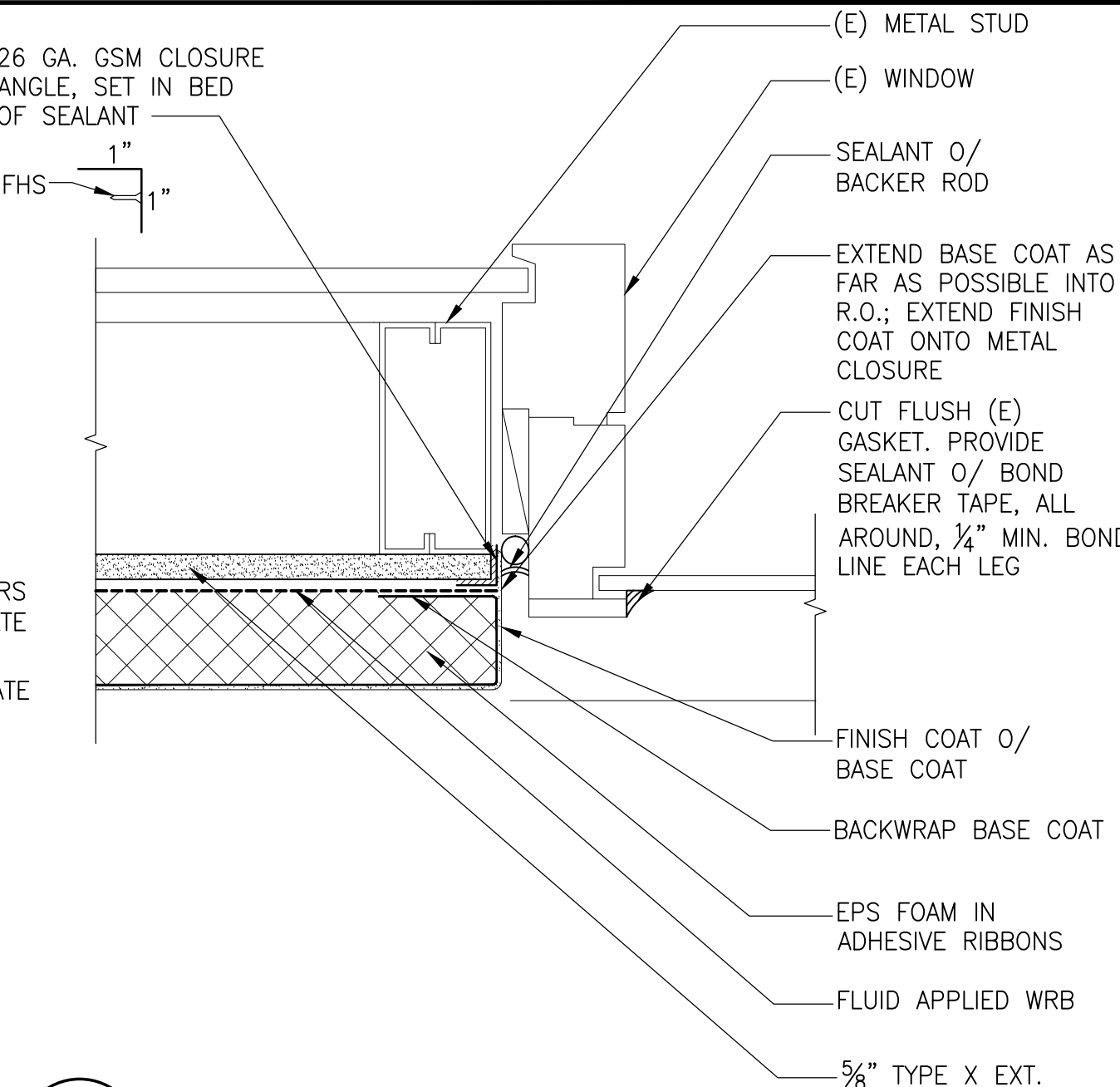
**1 WINDOW HEAD** SCALE: N.T.S.



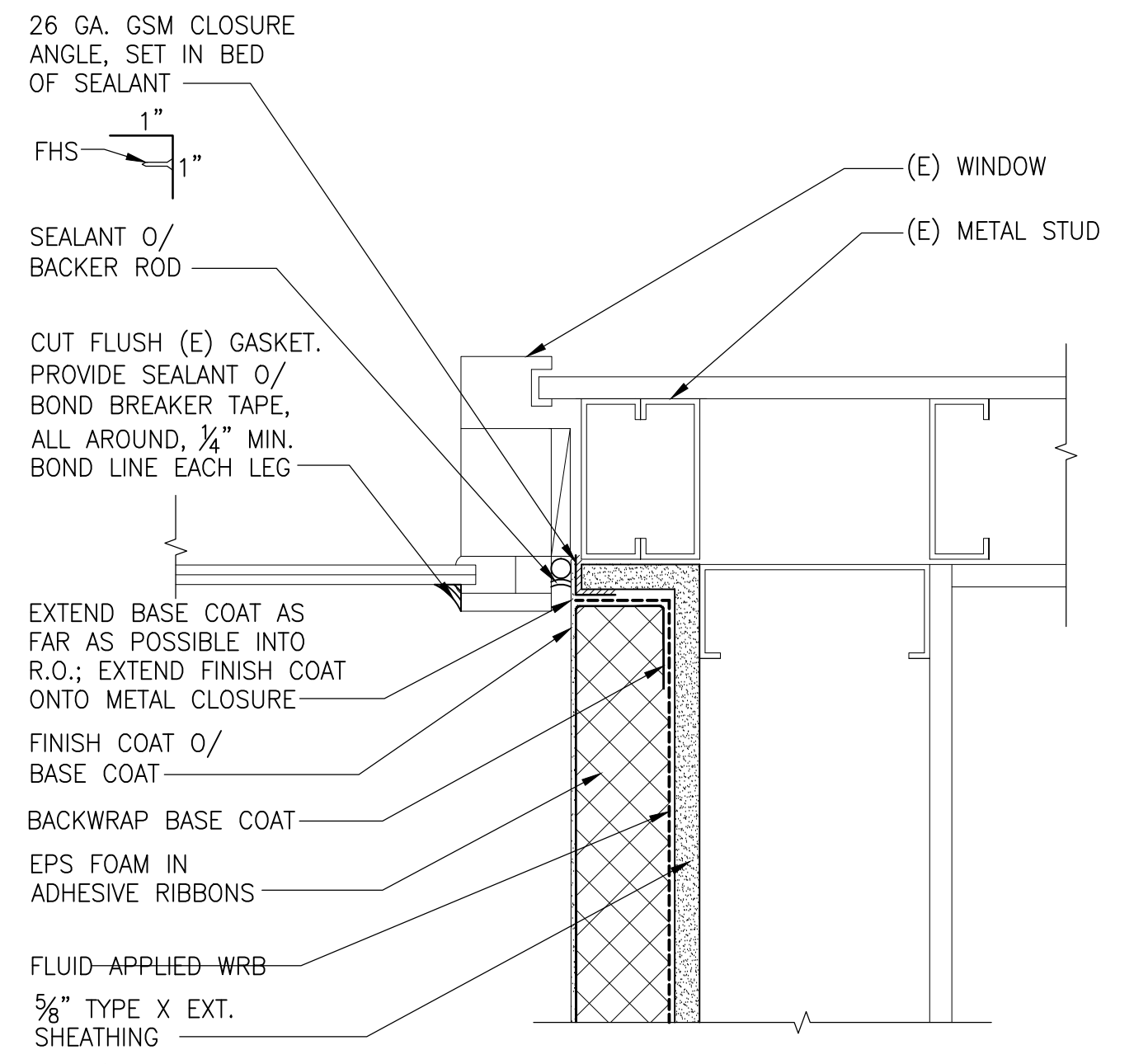
**2 WINDOW SILL - SHALLOW RECESS** SCALE: N.T.S.



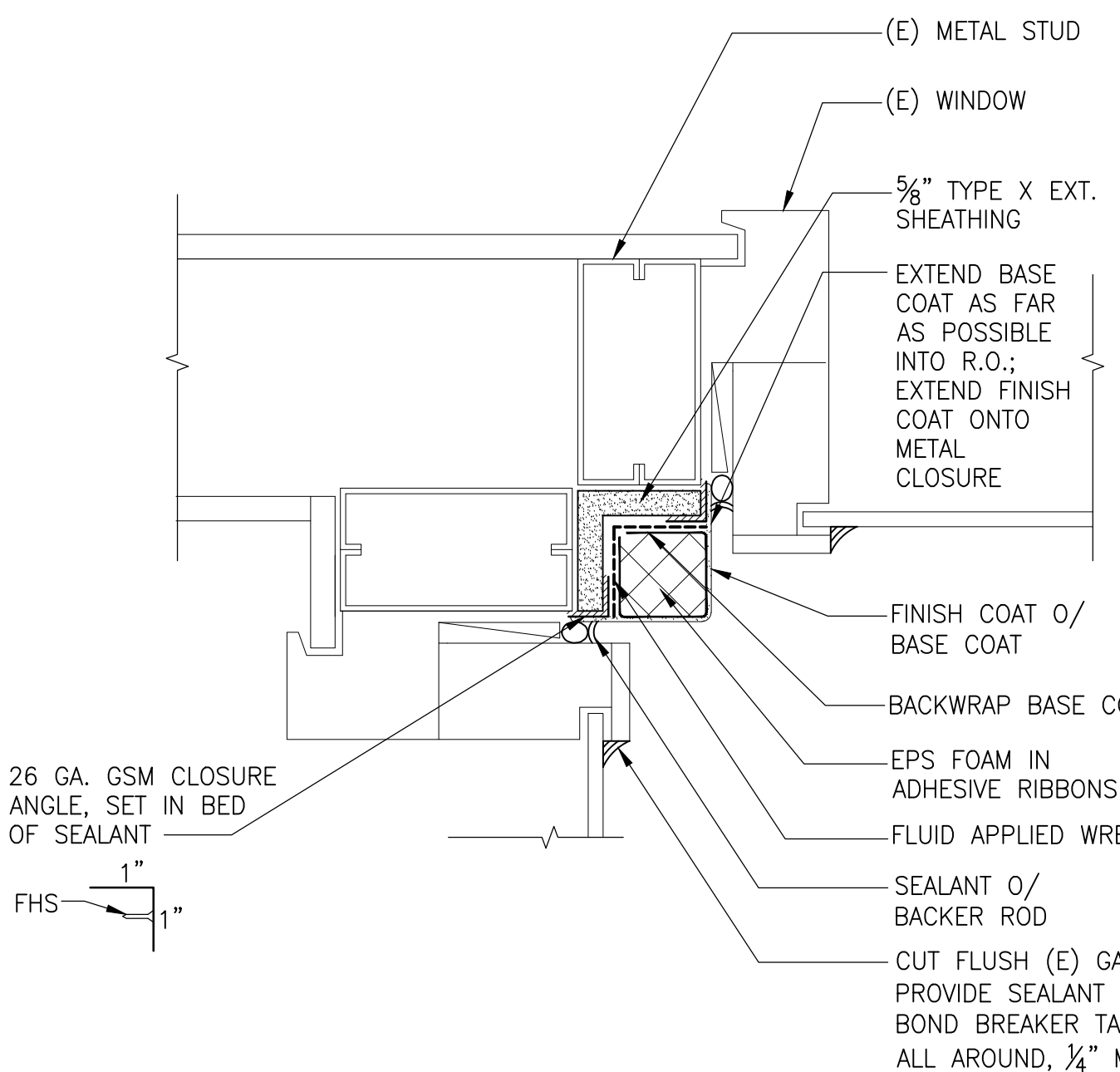
**3 WINDOW SILL AND BULLNOSE** SCALE: N.T.S.



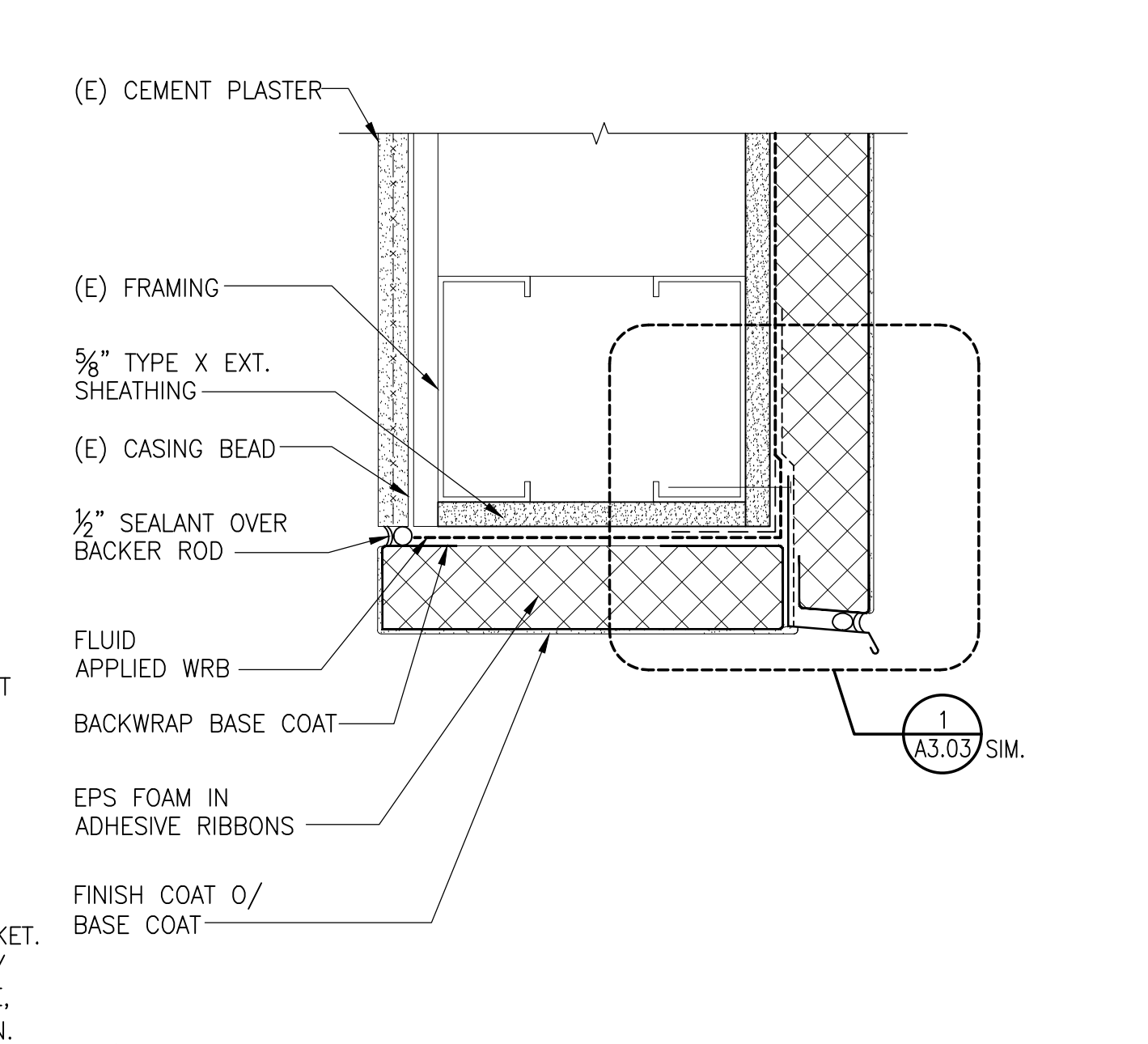
**4 WINDOW JAMB PLAN SECTION** SCALE: N.T.S.



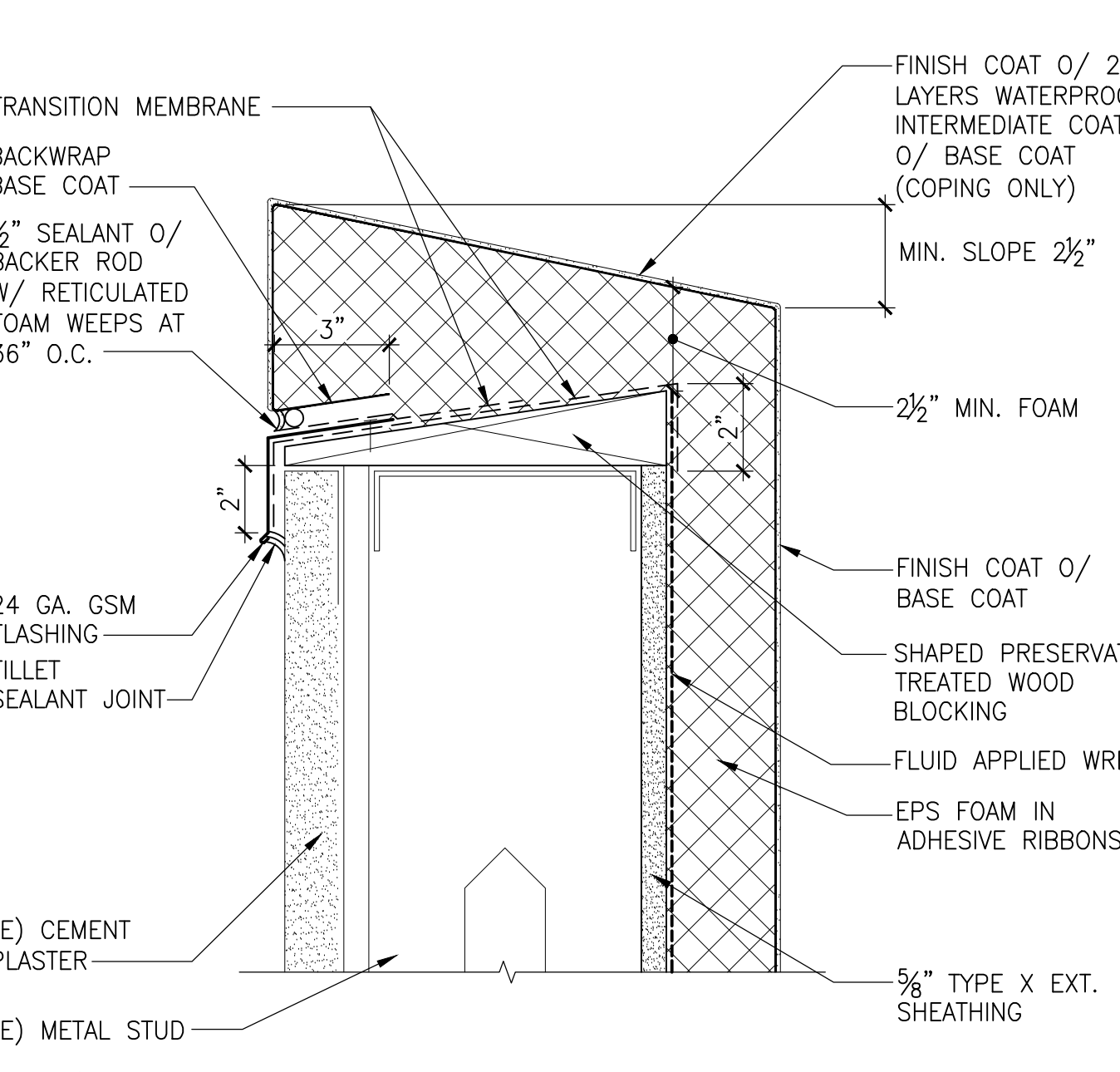
**5 WINDOW JAMB PLAN SECTION** SCALE: N.T.S.



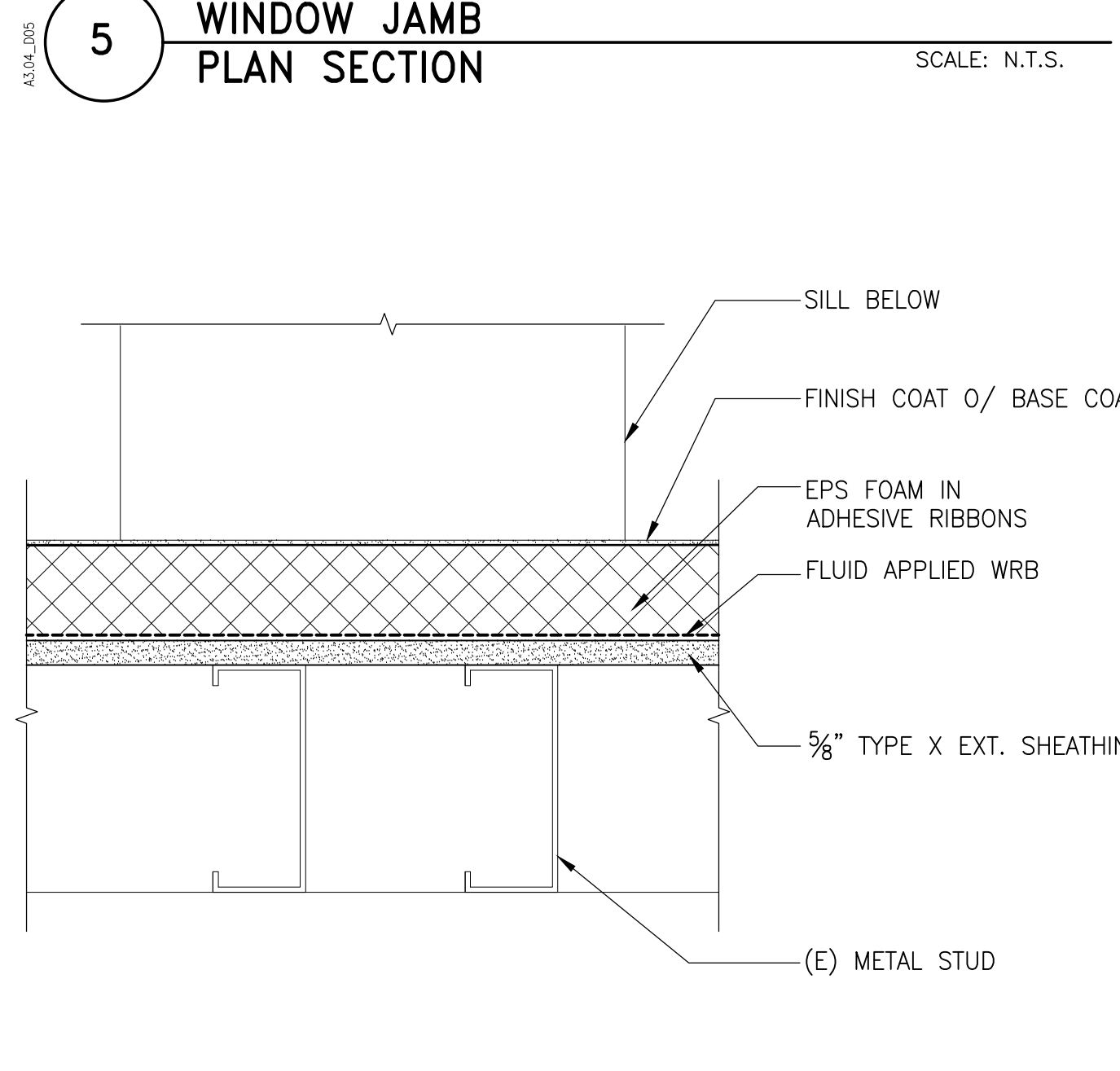
**6 WINDOW JAMB PLAN SECTION** SCALE: N.T.S.



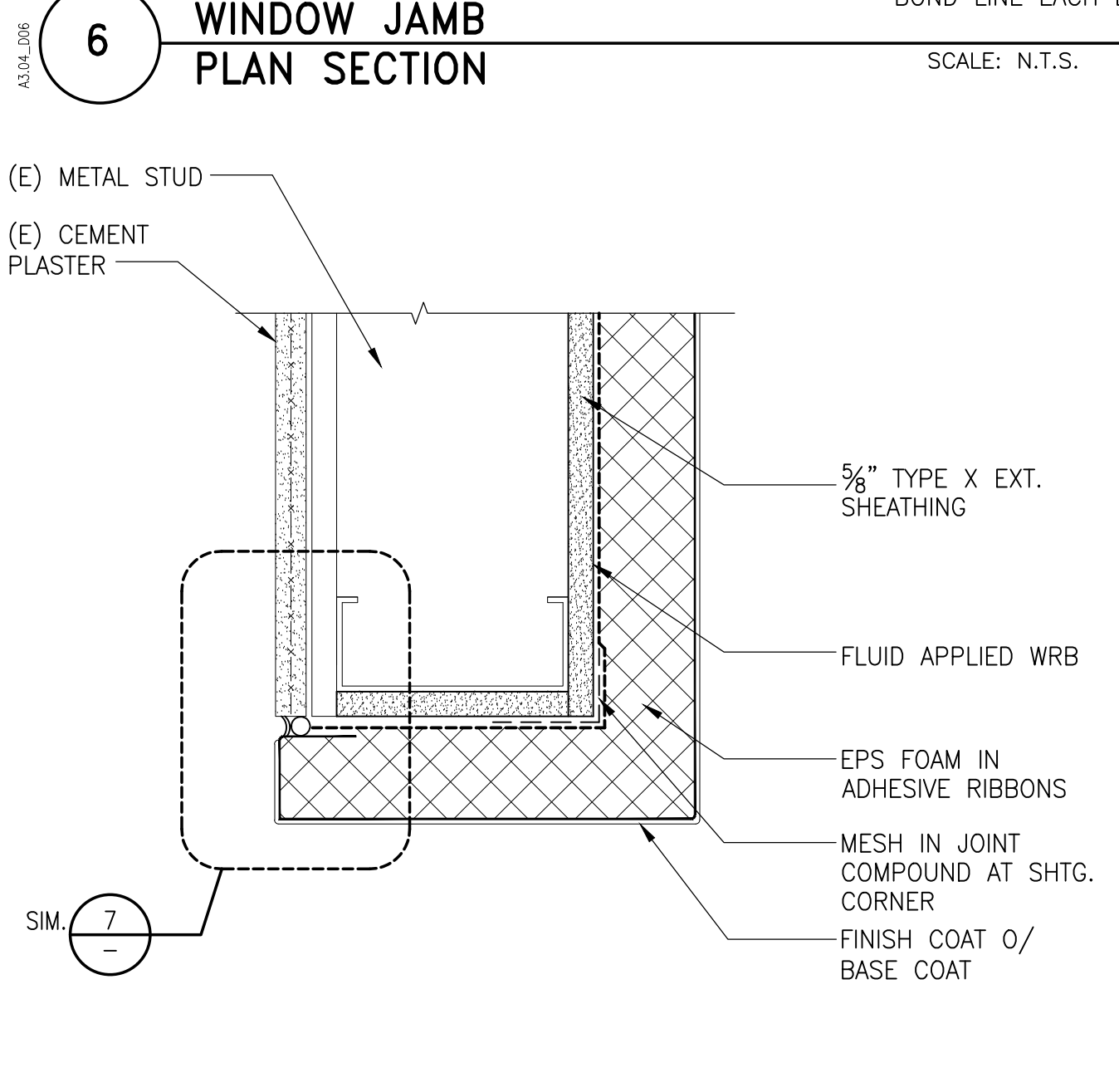
**7 HEAD AT WALL OPENING** SCALE: N.T.S.



**8 SILL AT WALL OPENING** SCALE: N.T.S.



**9 JAMB AT WALL OPENING PLAN SECTION** SCALE: N.T.S.



**10 JAMB AT WALL OPENING PLAN SECTION** SCALE: N.T.S.

**SIMPSON GUMPERTZ & HEGER**  
 Engineering of Structures and Building Enclosures  
 Simpson Gumpertz & Heger Inc.  
 1150 S. Olive Street, Suite 1600  
 Los Angeles, California 90015  
 213.271.2000 fax: 213.617.0411  
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 Washington, DC

No.	Date	Description	By
1	01/30/18	Prebid RFI #1	ALH
3	11/20/17	Bid Set	ALH
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1	04/18/16	Plan Check Submission	ALH
0	03/25/16	90% Progress Print for Owner Review	ALH

No.	Date	Description	By
1	01/30/18	Prebid RFI #1	ALH
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0	03/25/16	90% Progress Print for Owner Review	ALH

No.	Date	Description	By
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1	04/18/16	Plan Check Submission	ALH
0	03/25/16	90% Progress Print for Owner Review	ALH

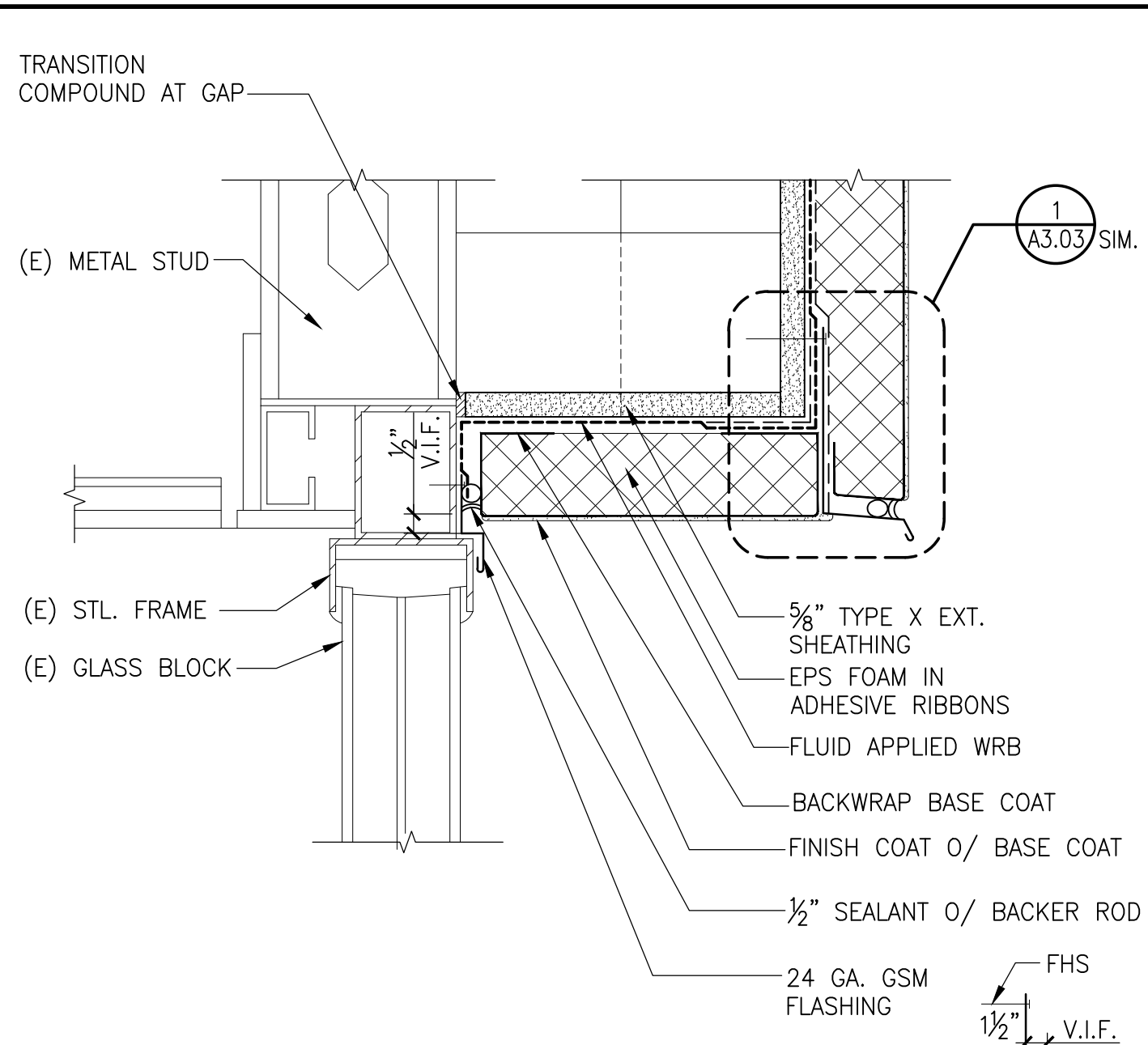
**EIFS EXTERIOR WALL REPLACEMENT**  
**EDMUND D. EDELMAN CHILDREN'S COURT**  
 201 CENTRE PLAZA DRIVE  
 MONTEREY PARK, CA 91754  
 Project

**EXTERIOR WALL DETAILS**  
 Drawing Title

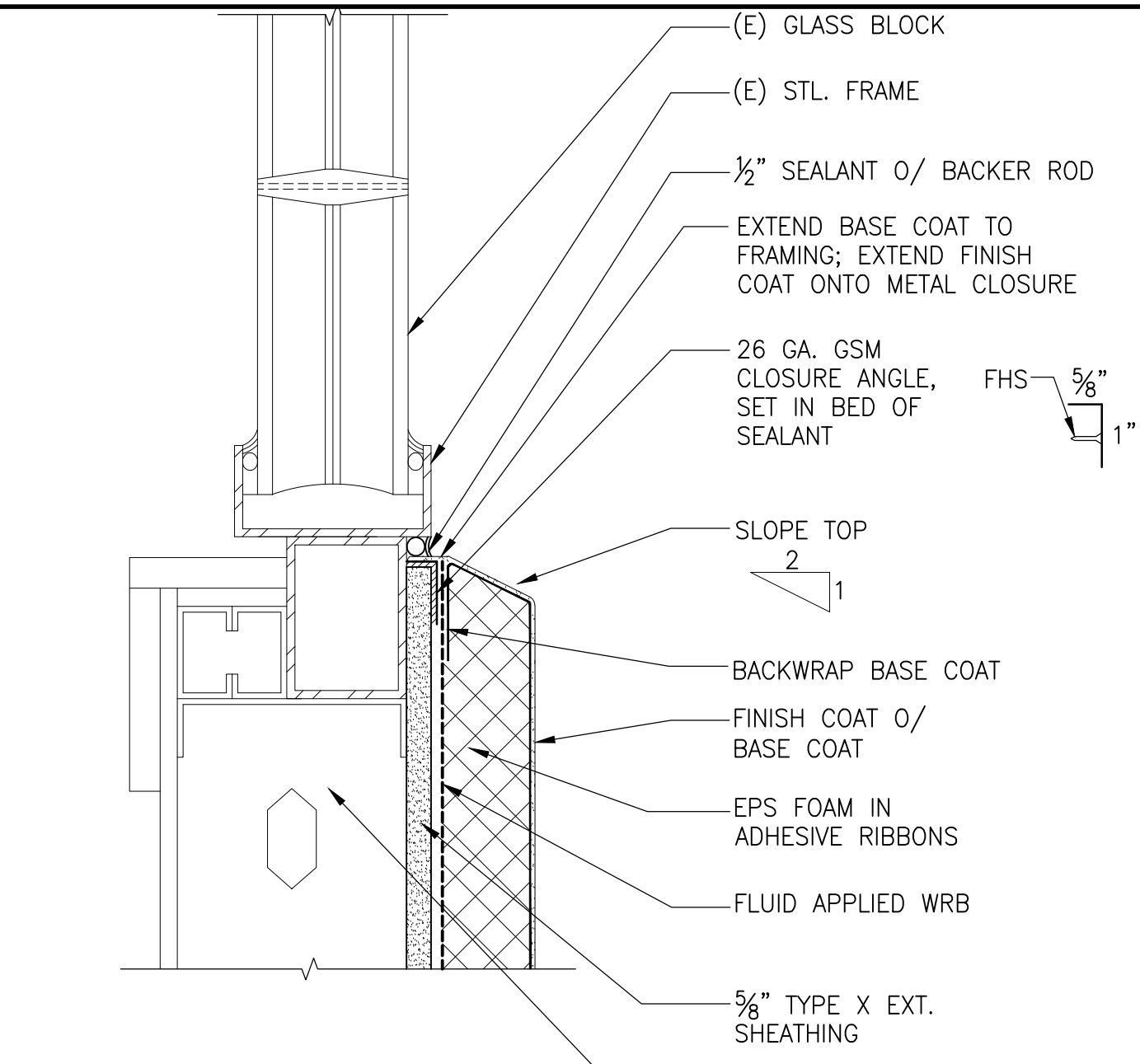
Project	158008.01	Checked	RNU	Date	01/30/18
Drawn	PA	Approved	ALH	Scale	AS NOTED
Drawing No.					
<b>A3.04</b>					

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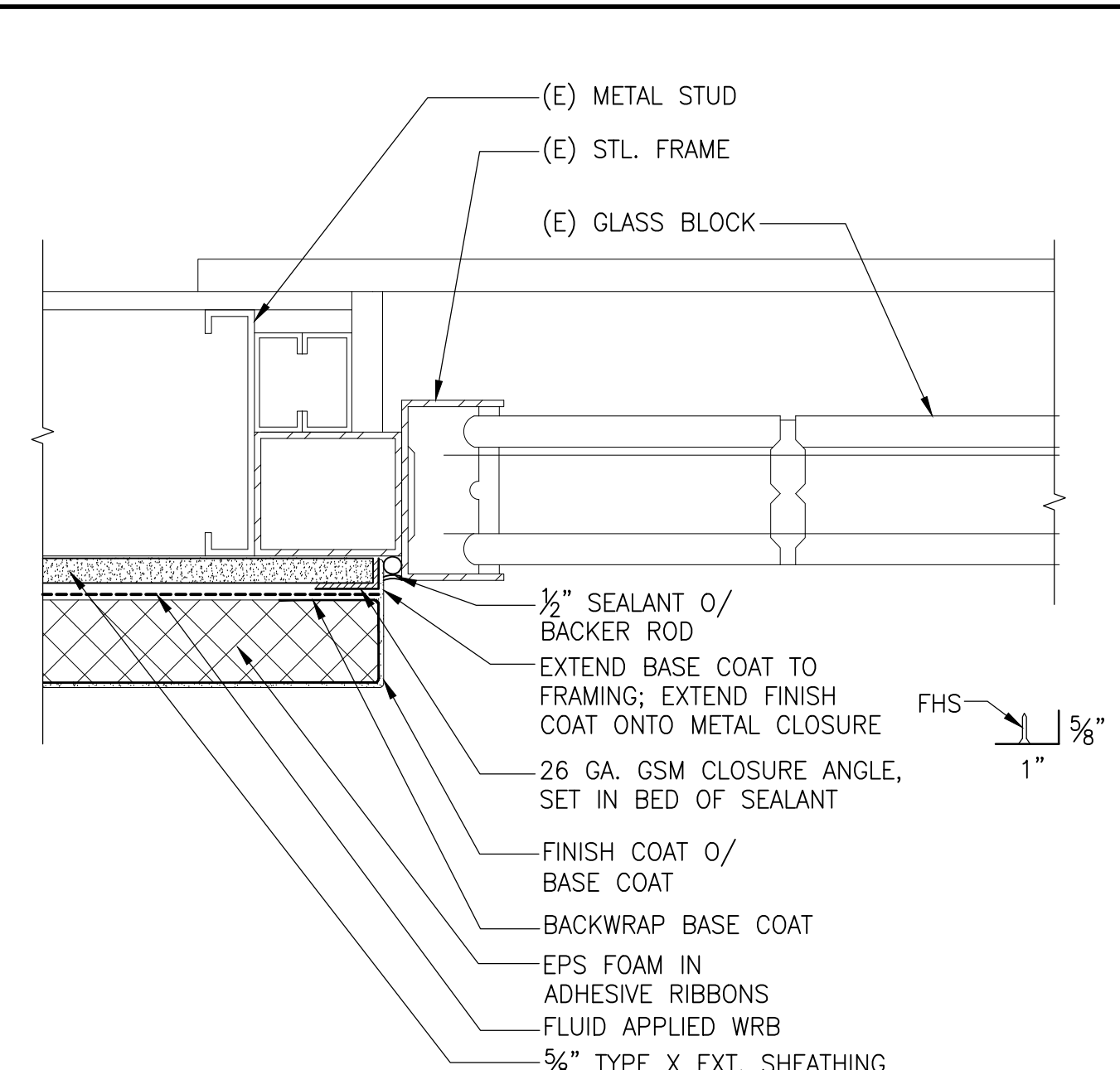




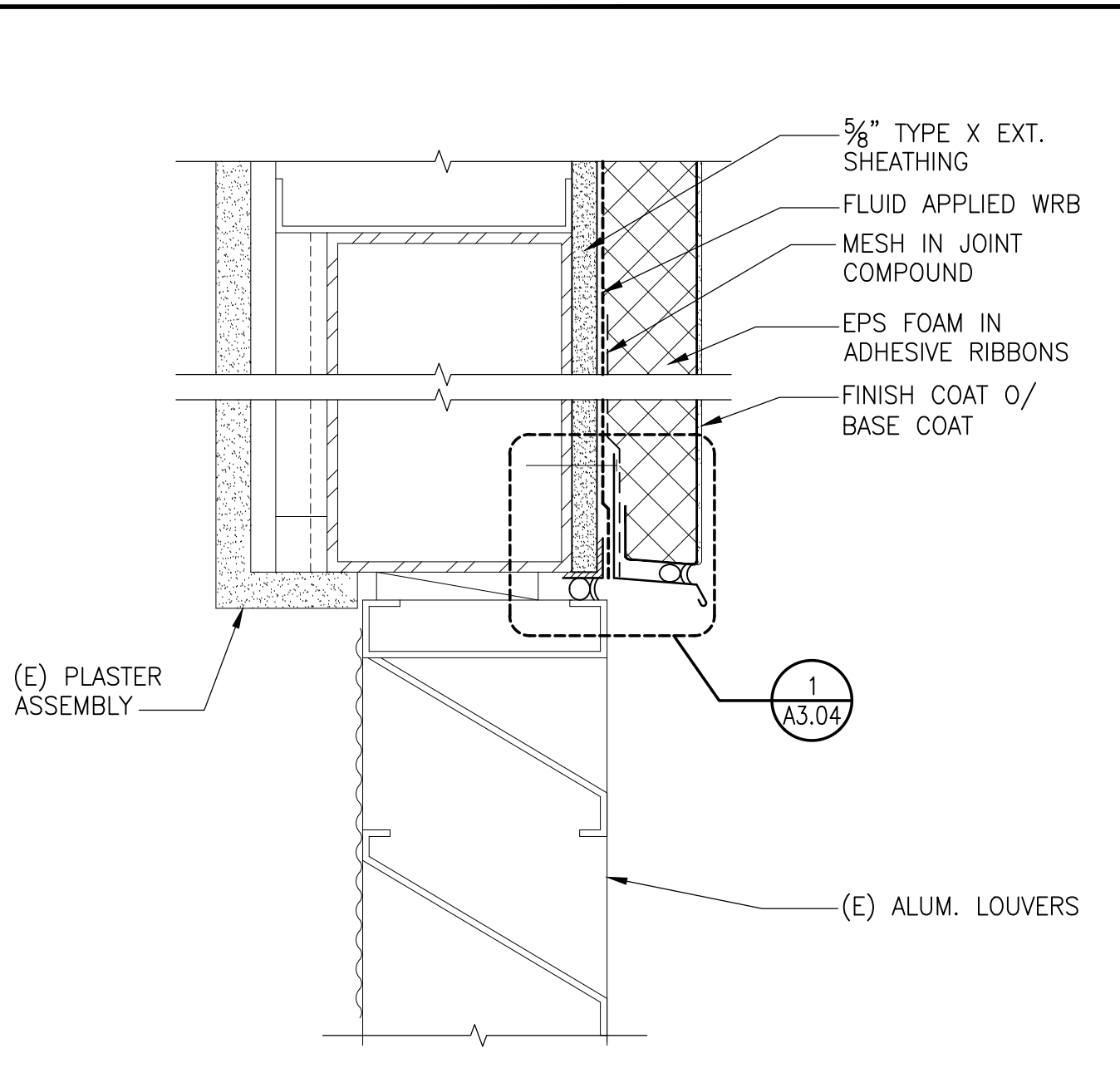
**1 GLASS BLOCK HEAD**  
SCALE: N.T.S.



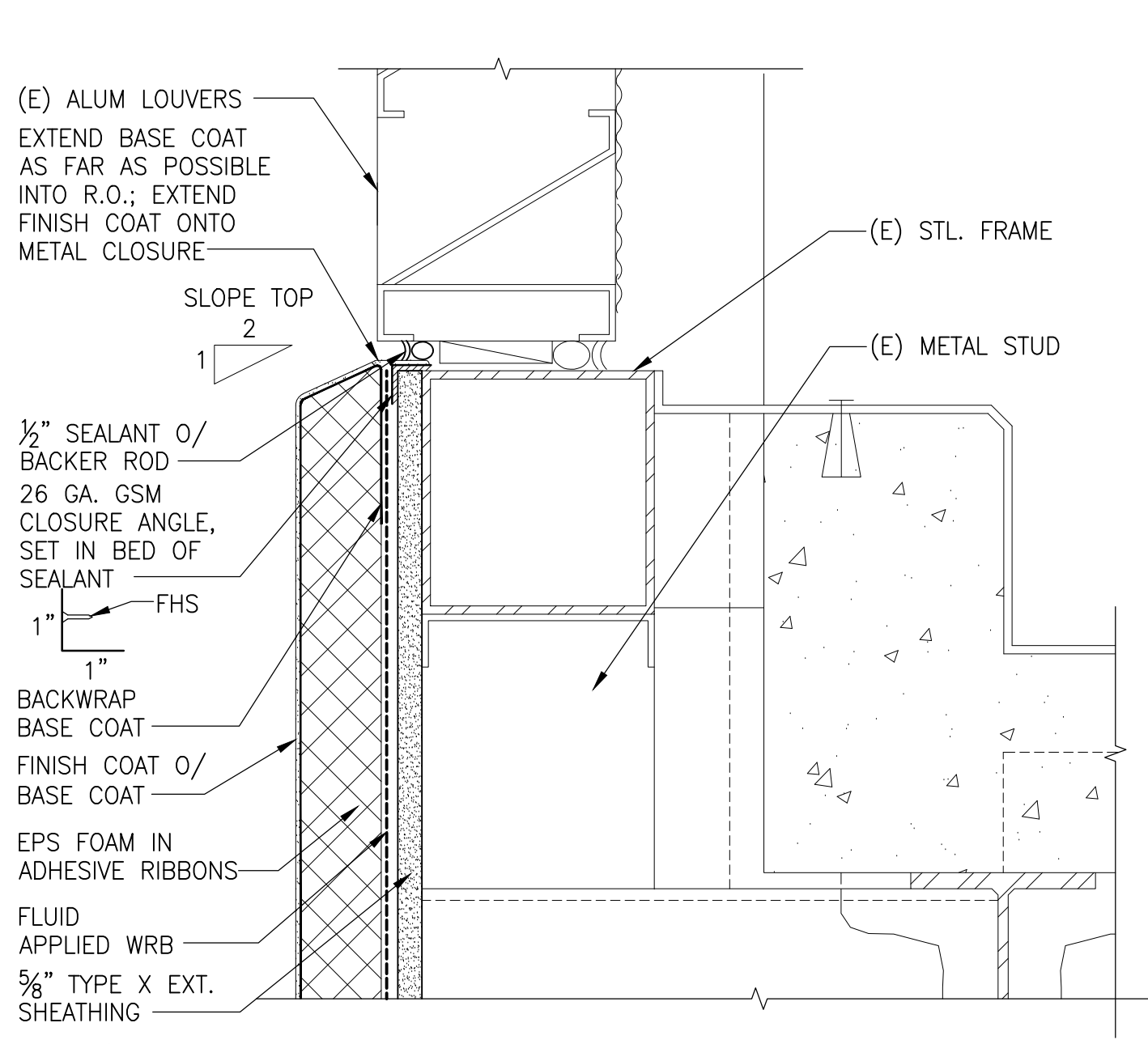
**2 GLASS BLOCK SILL**  
SCALE: N.T.S.



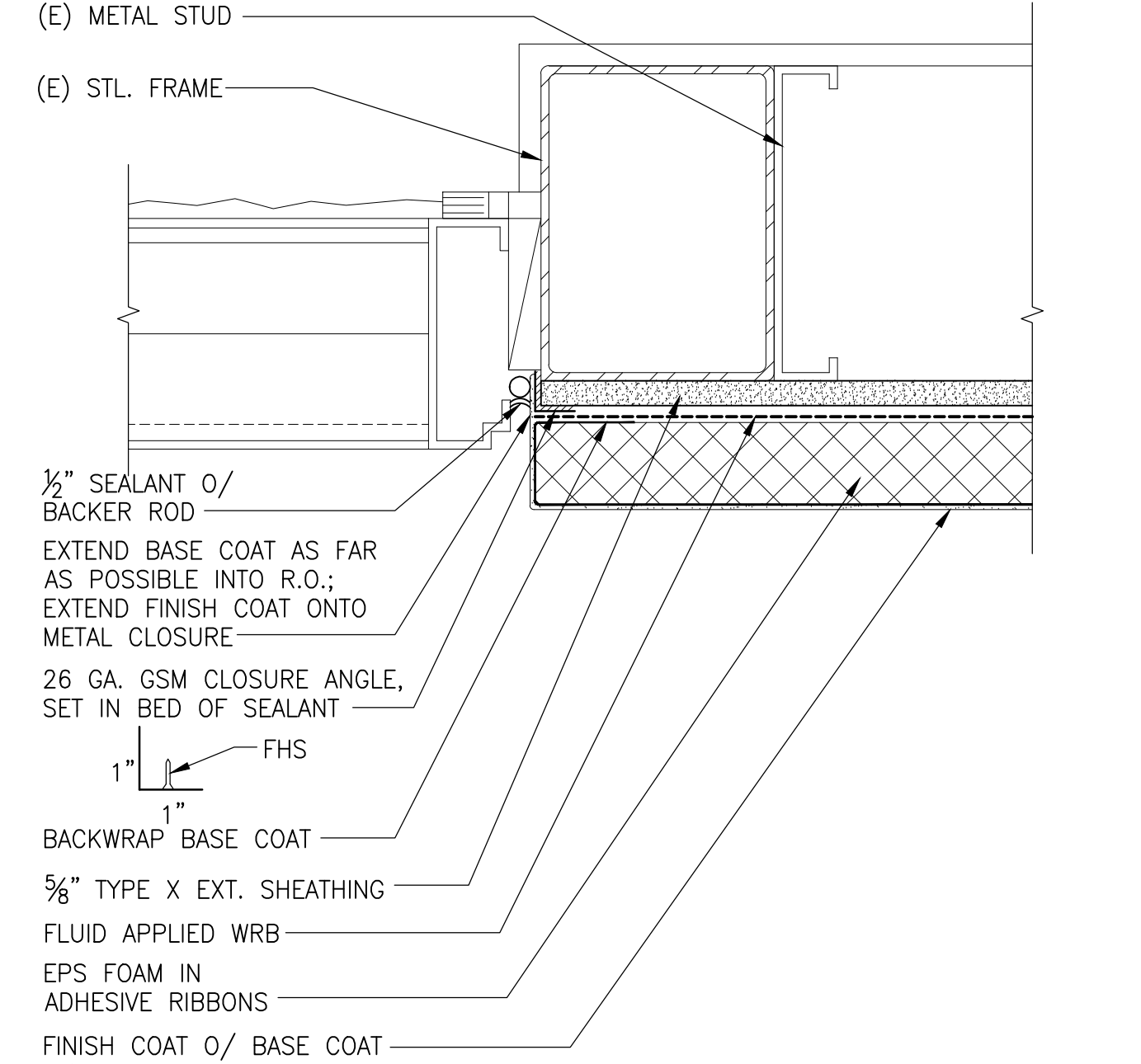
**3 GLASS BLOCK JAMB**  
SCALE: N.T.S.



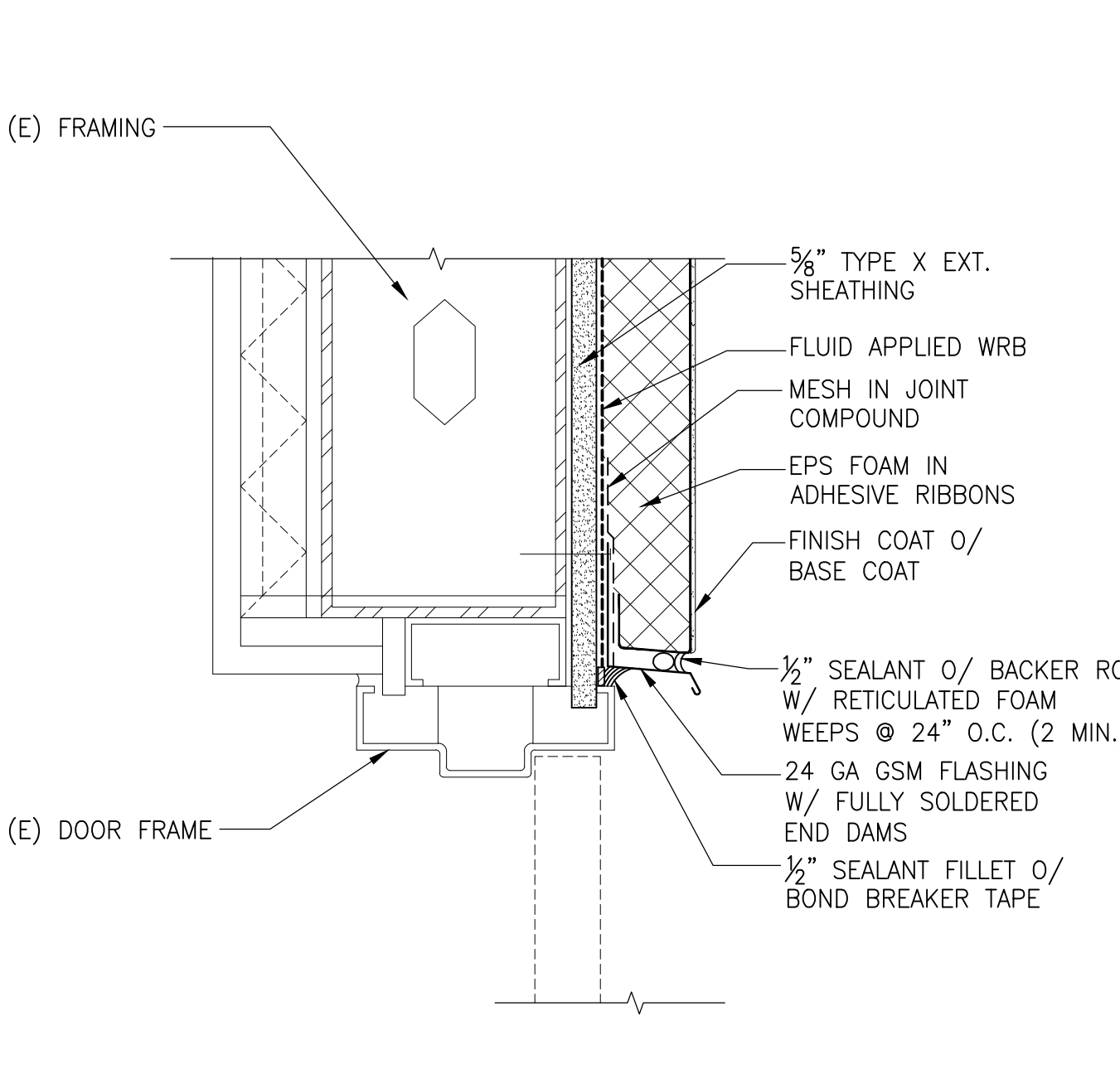
**4 LOUVER HEAD**  
SCALE: N.T.S.



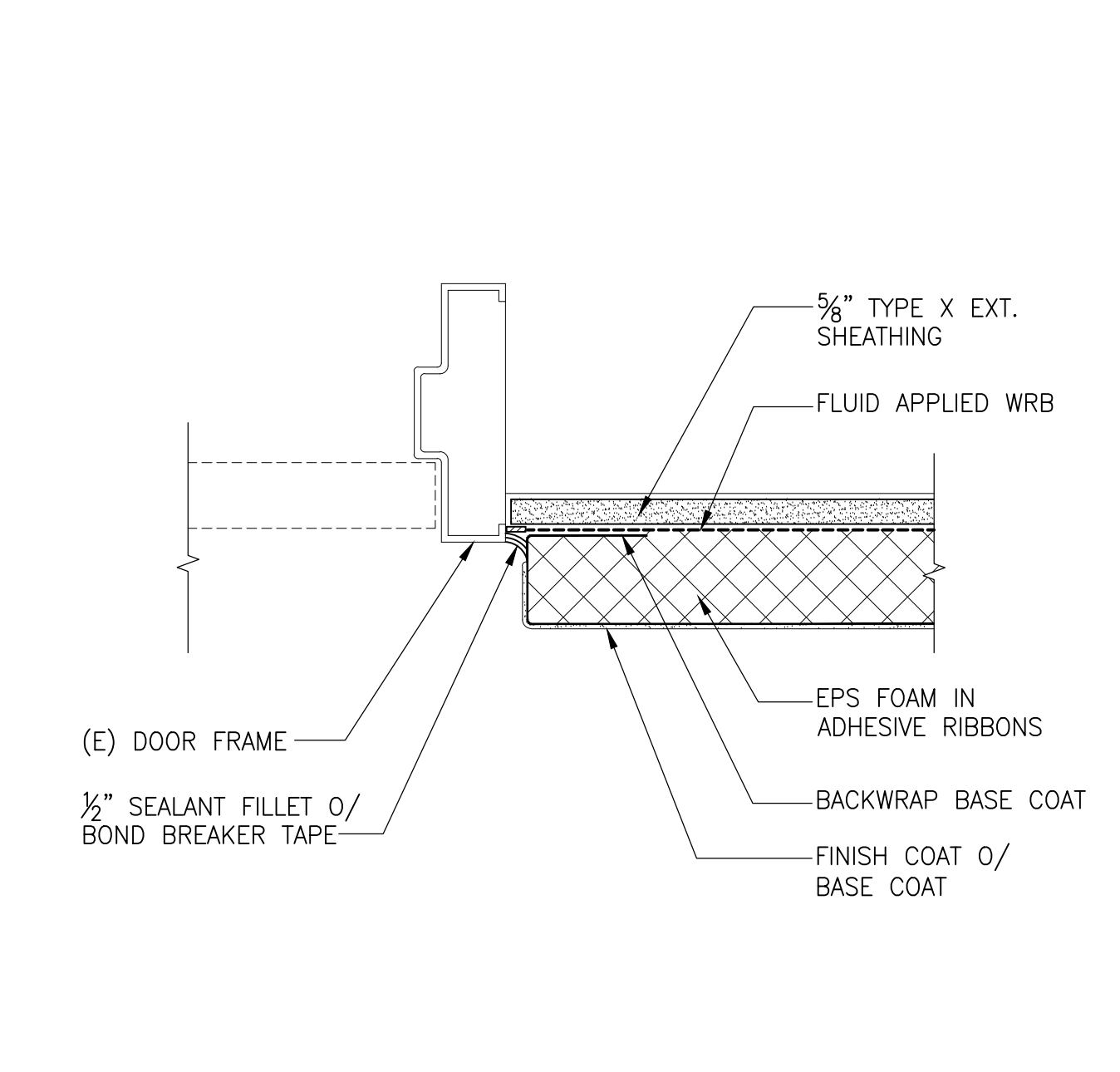
**5 LOUVER SILL**  
SCALE: N.T.S.



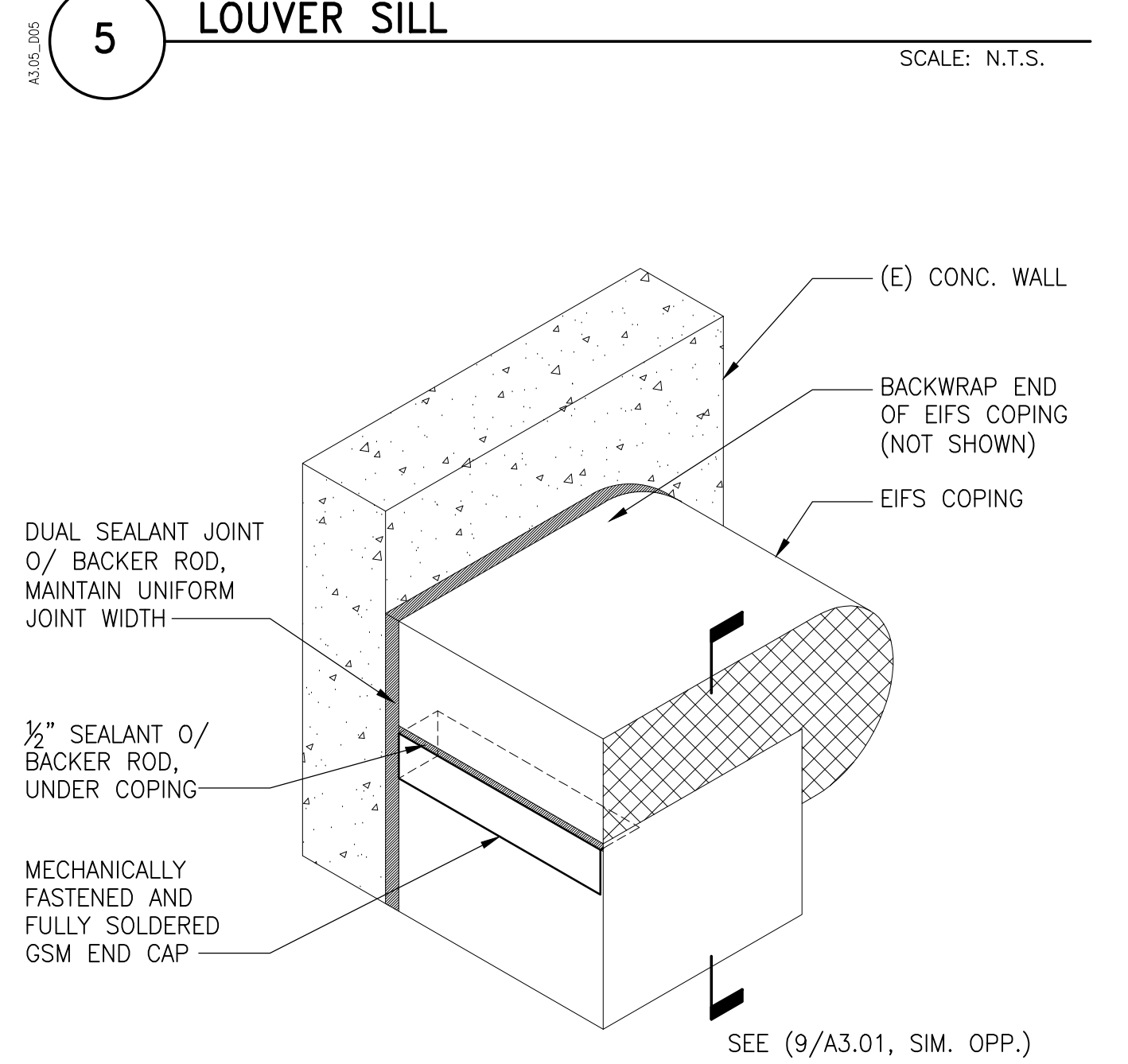
**6 LOUVER JAMB PLAN SECTION**  
SCALE: N.T.S.



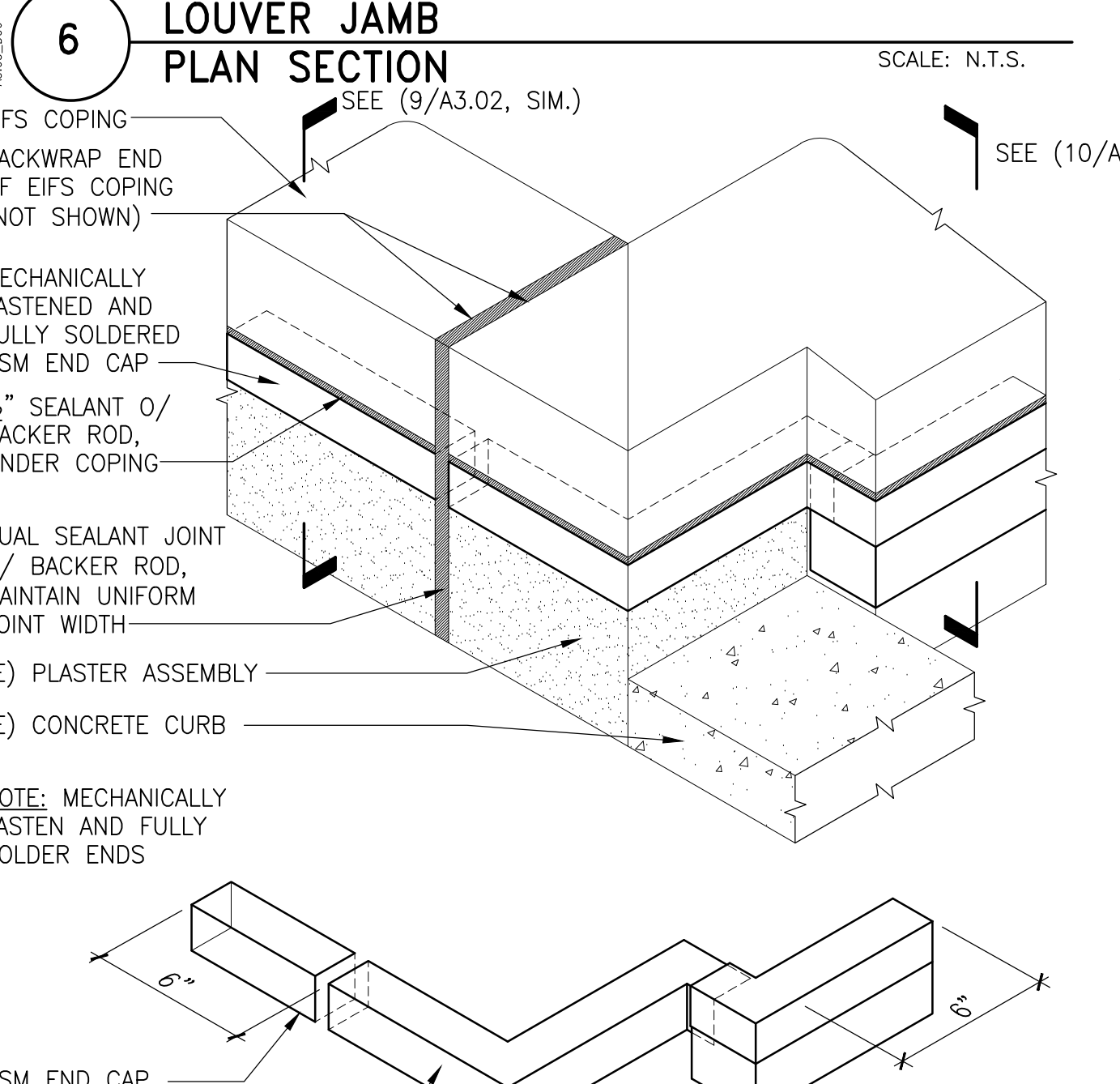
**7 HOLLOW METAL DOOR HEAD**  
SCALE: N.T.S.



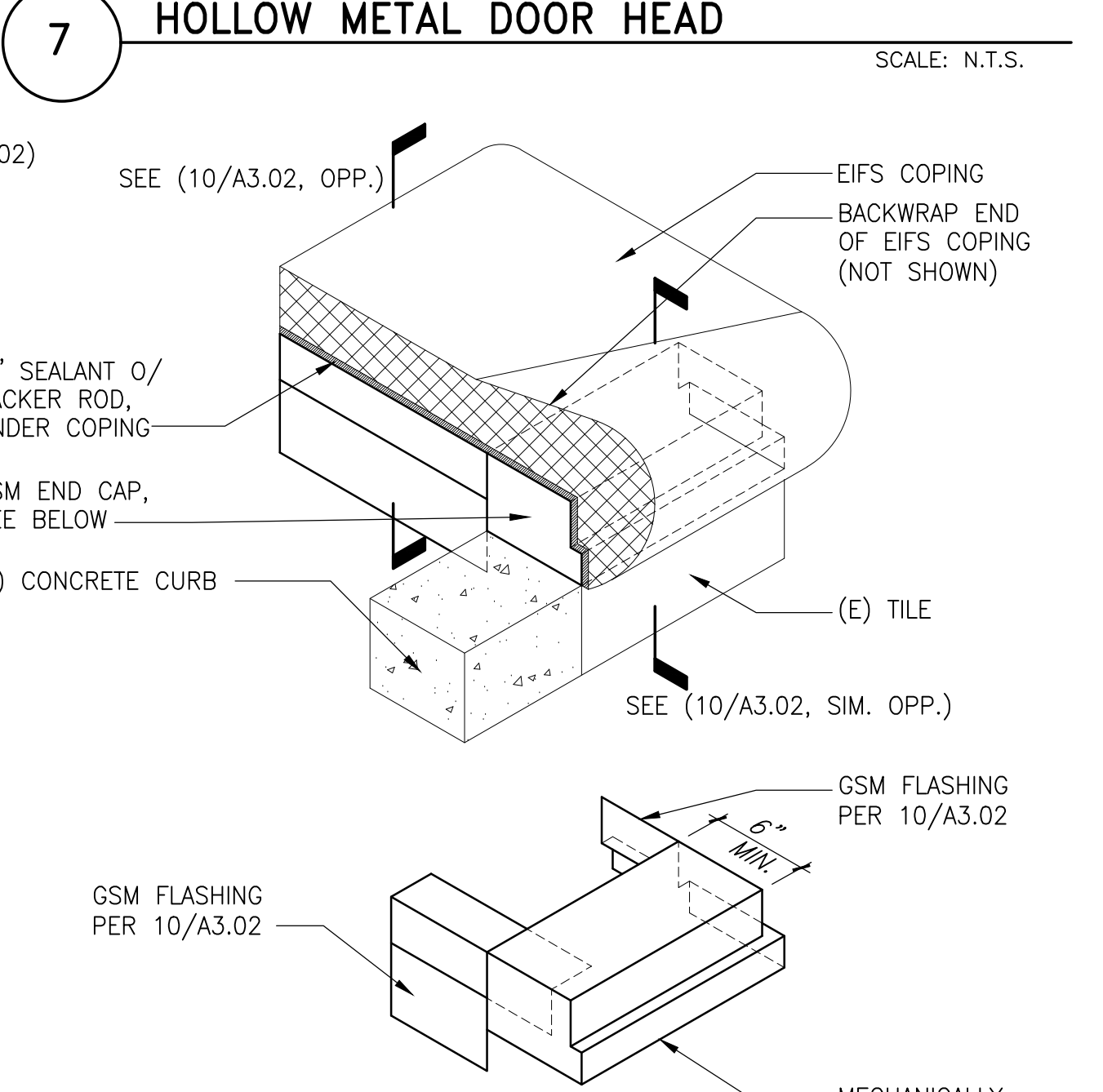
**8 HOLLOW METAL DOOR JAMB PLAN SECTION**  
SCALE: N.T.S.



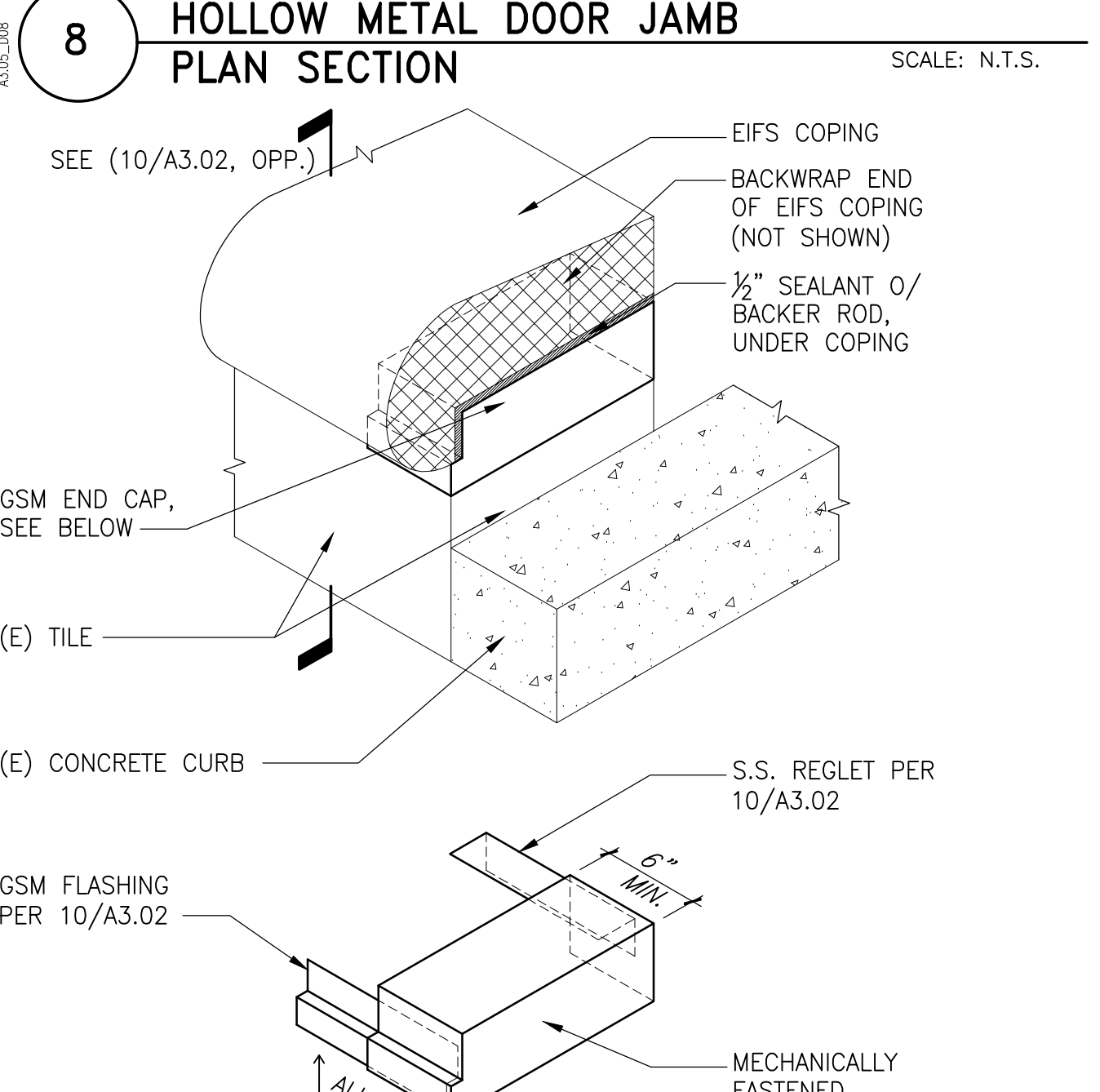
**9 EIFS COPING TRANSITION**  
SCALE: N.T.S.



**10 EIFS COPING TRANSITION**  
SCALE: N.T.S.



**11 EIFS COPING TRANSITION**  
SCALE: N.T.S.



**12 EIFS COPING TRANSITION**  
SCALE: N.T.S.

Project	158008.01	Checked	RNU	Date	01/30/18
Drawn	PA	Approved	ALH	Scale	AS NOTED
Drawing No. <b>A3.05</b>					

No.	Date	Description	By
0	03/25/16	90% Progress Print for Owner Review	ALH
1	04/18/16	Plan Check Submission	ALH
2	07/20/16	Plan Check Re-Submission	ALH
3	11/20/17	Bid Set	ALH
4	01/30/18	Prebid RFI #1	ALH

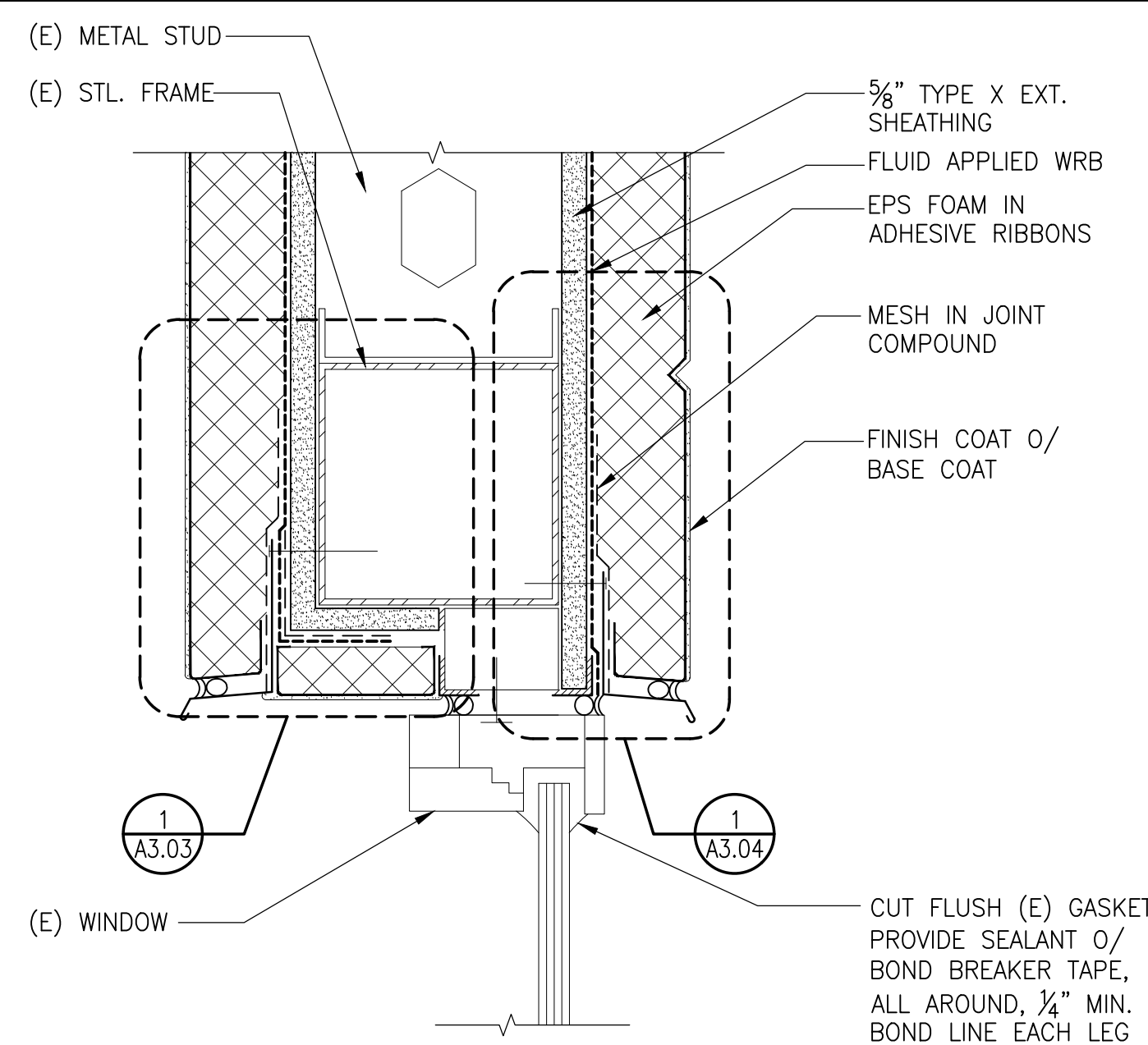
<b>EIFS EXTERIOR WALL REPLACEMENT</b>			
<b>EDMUND D. EDELMAN CHILDREN'S COURT</b>			
<b>201 CENTRE PLAZA DRIVE MONTEREY PARK, CA 91754</b>			

**EXTERIOR WALL DETAILS**

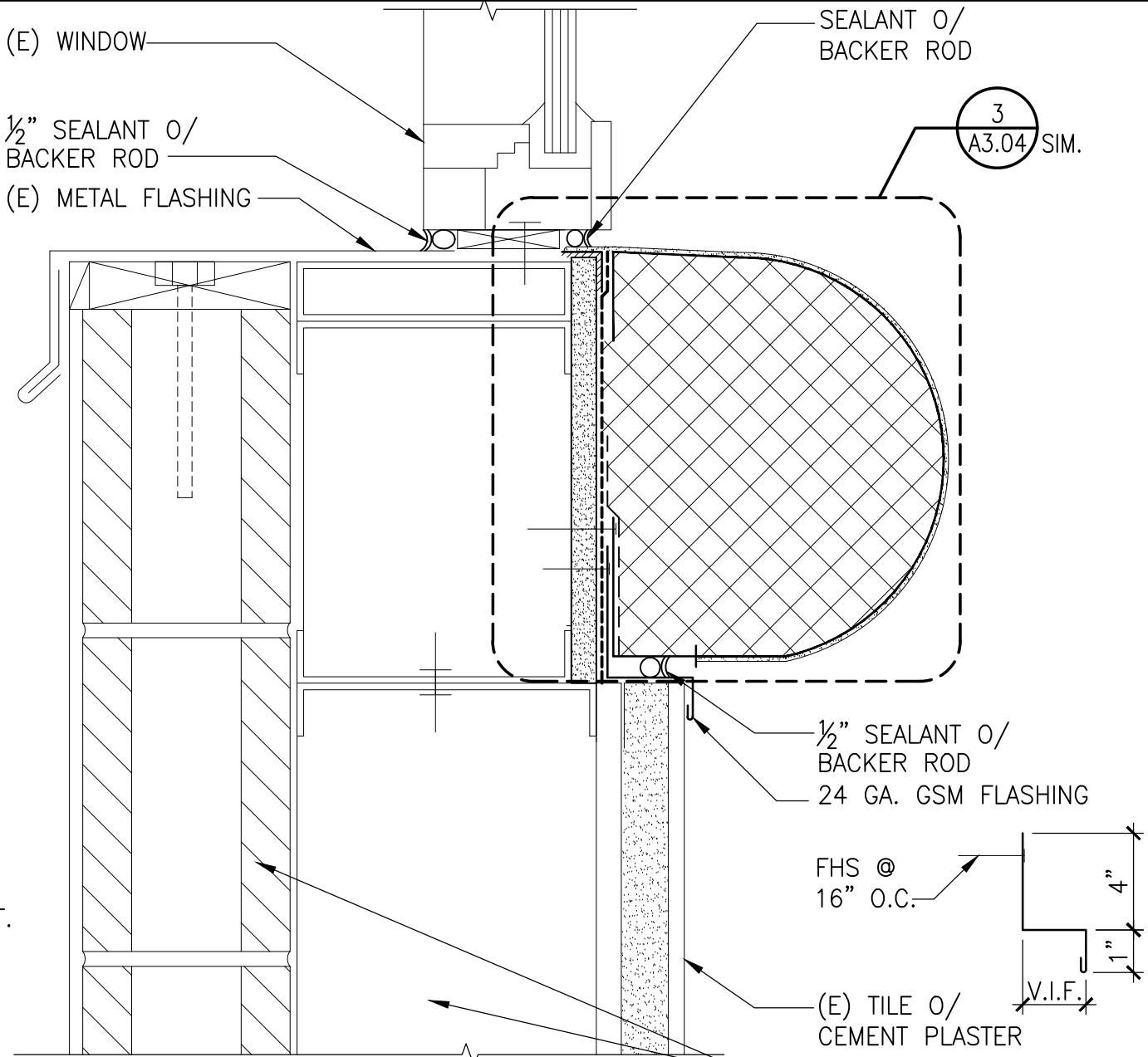
Drawing Title			
Project	158008.01	Checked	RNU
Drawn	PA	Approved	ALH
Date	01/30/18	Scale	AS NOTED
Drawing No. <b>A3.05</b>			

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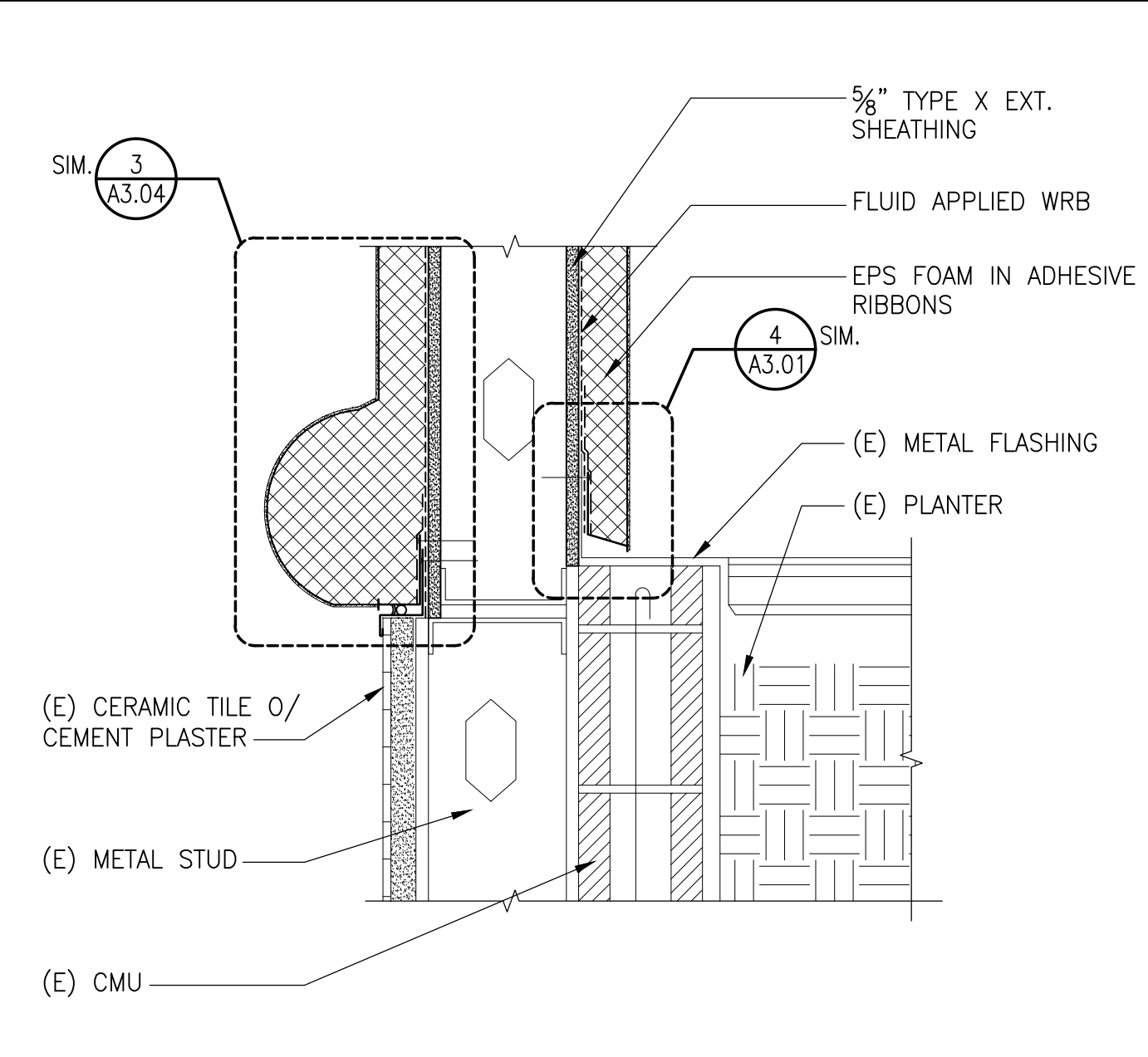
Consultant



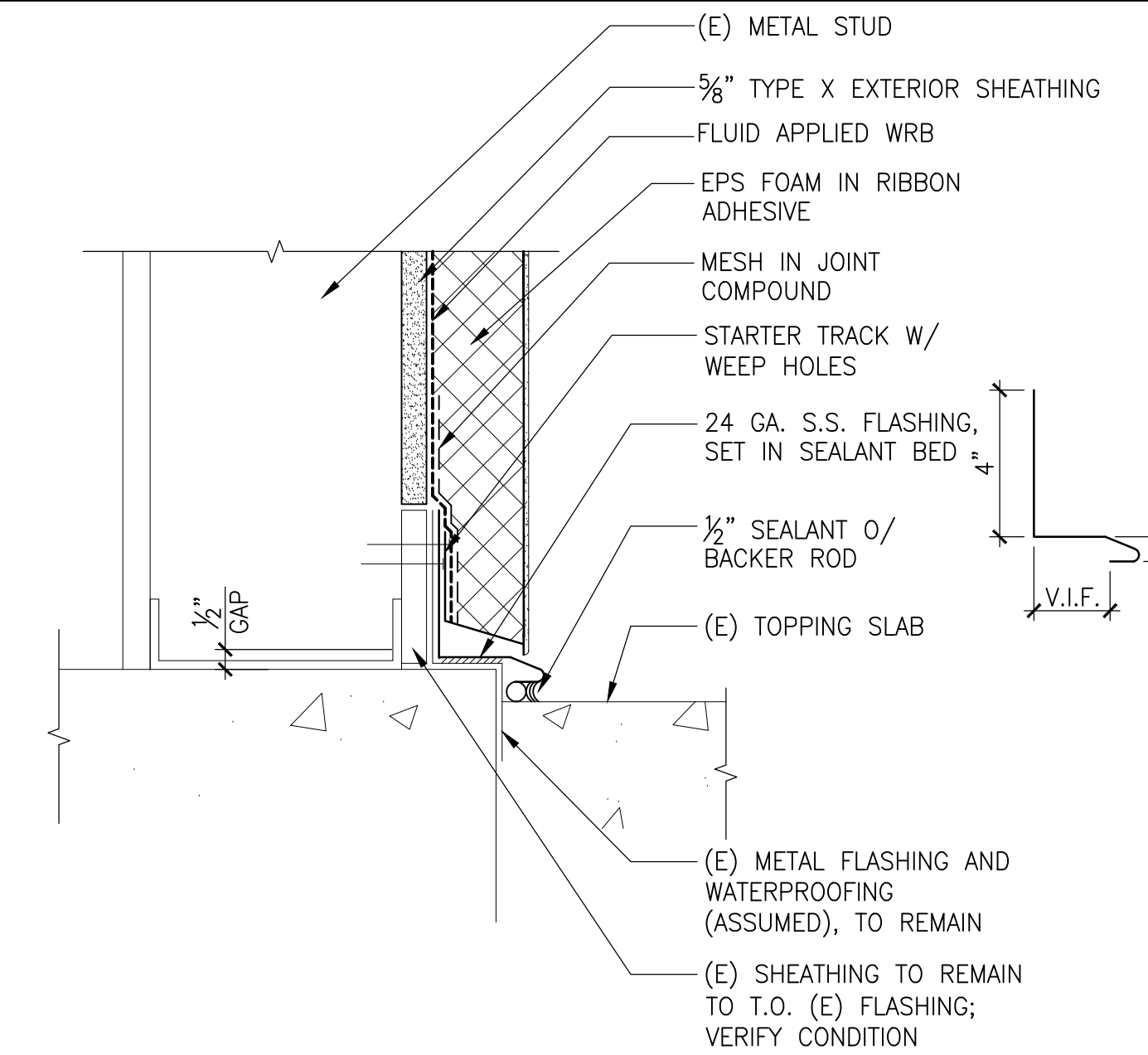
**1 WINDOW HEAD** SCALE: N.T.S.



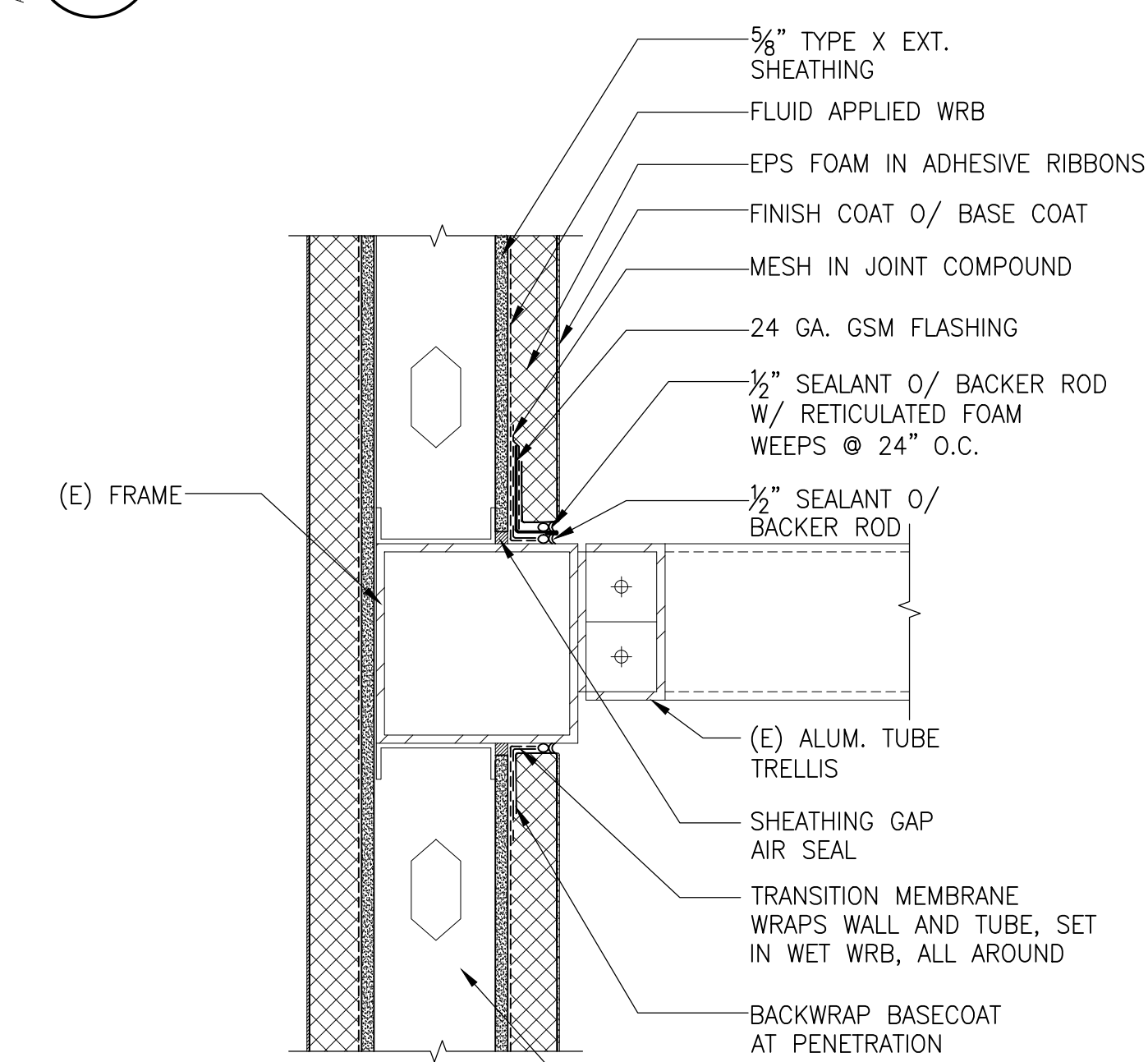
**2 WINDOW SILL** SCALE: N.T.S.



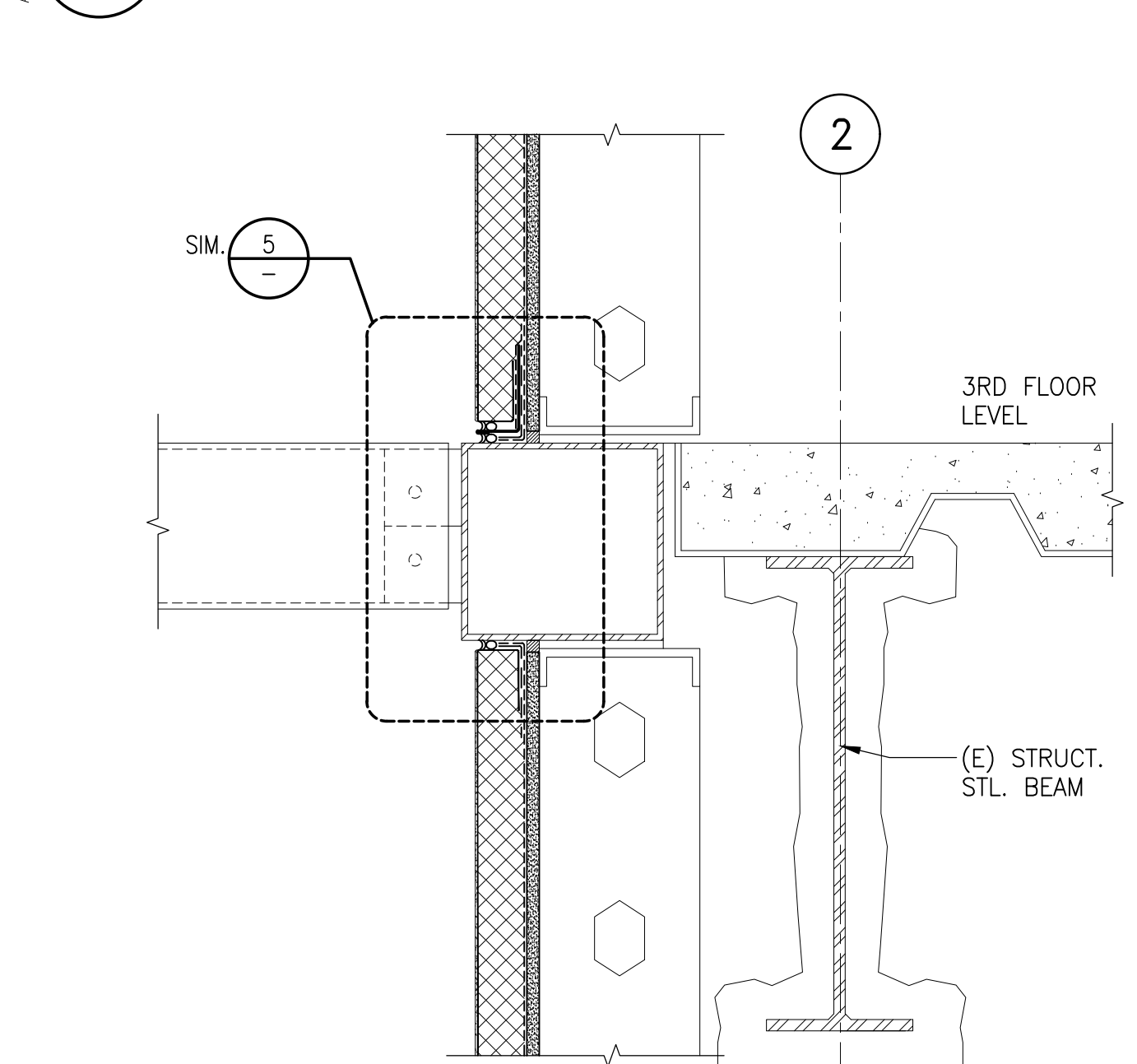
**3 WALL BASE AT PLANTER** SCALE: N.T.S.



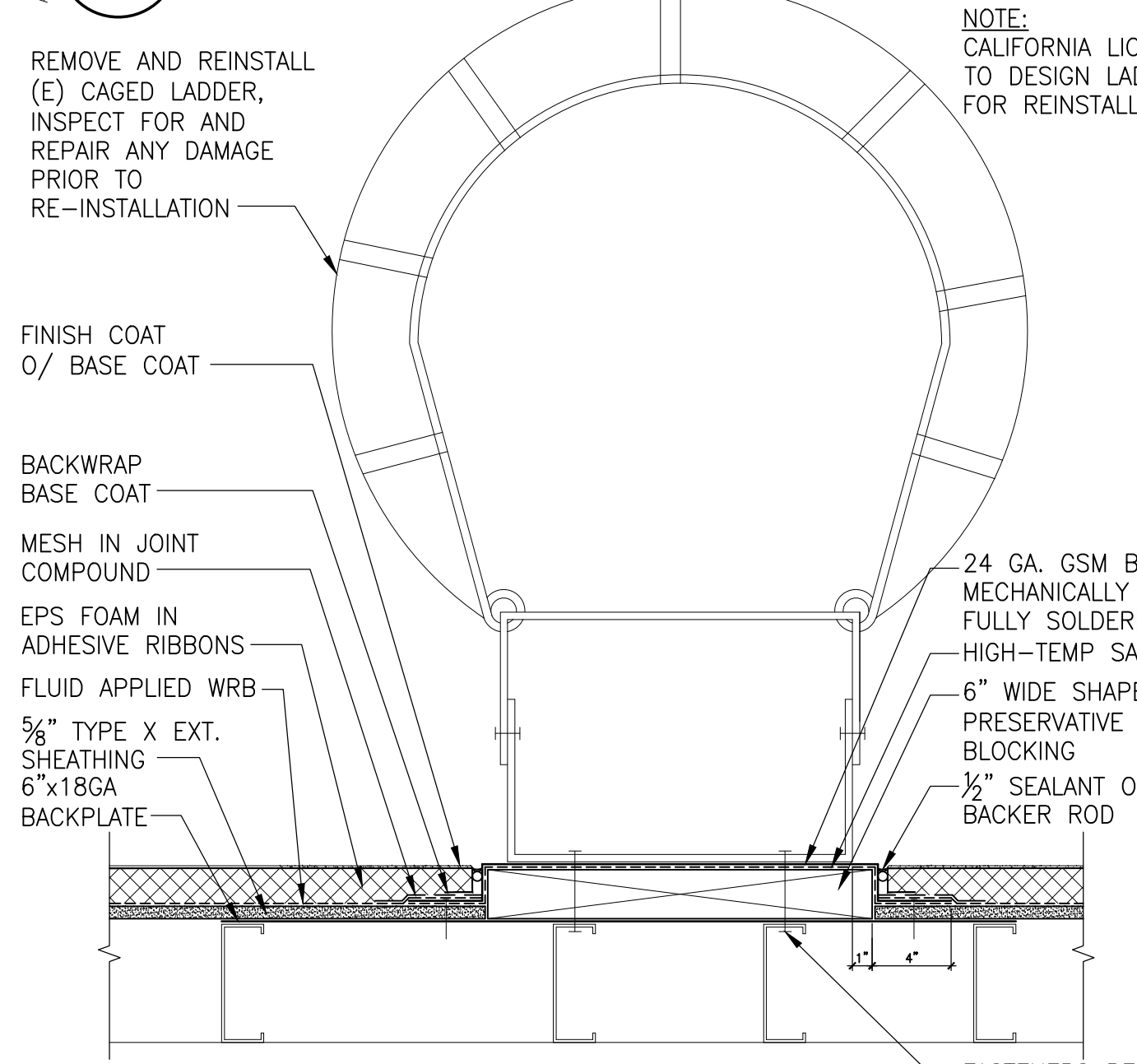
**4 WALL BASE AT JUDGES' TERRACE** SCALE: N.T.S.



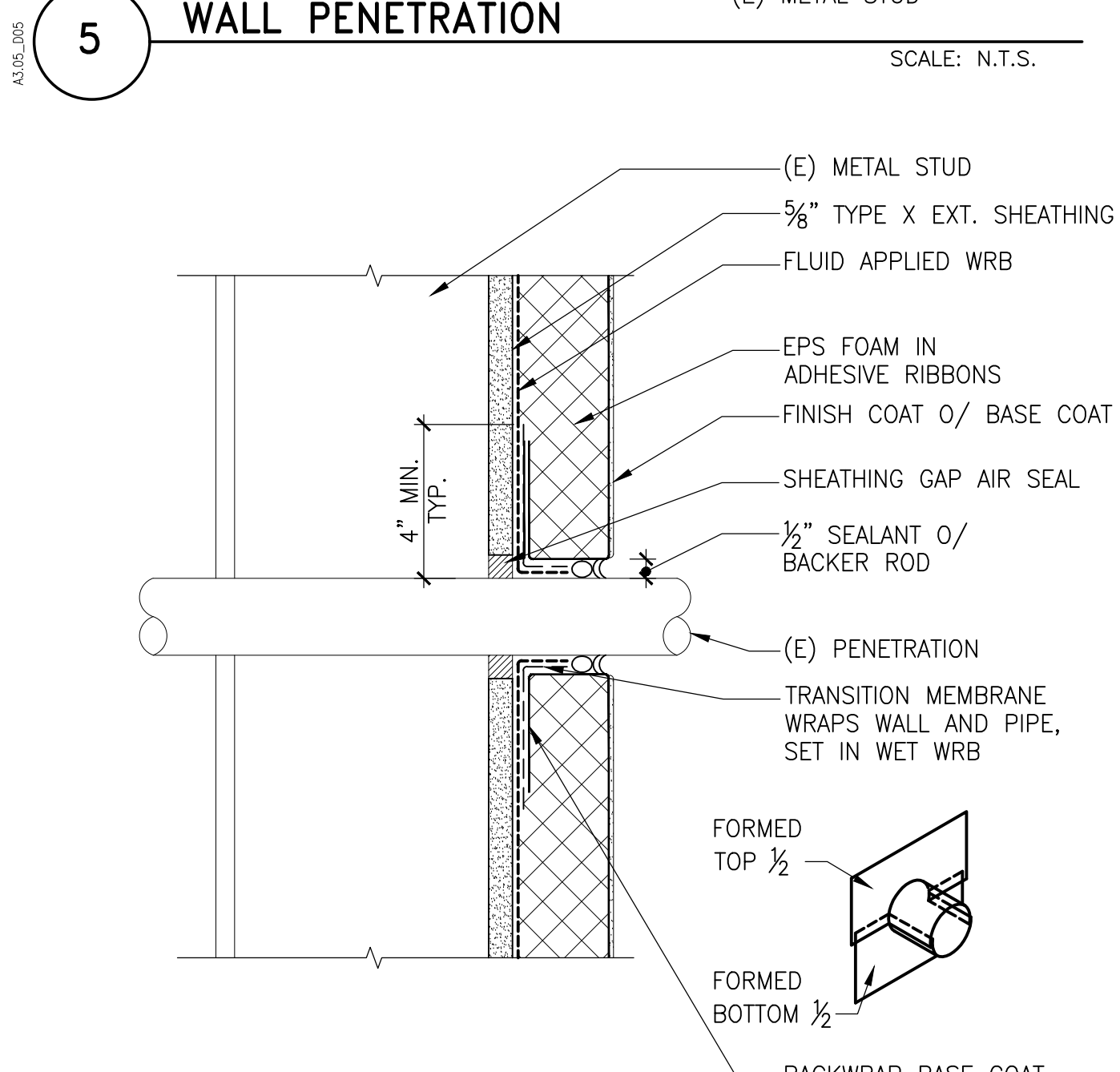
**5 WALL PENETRATION** SCALE: N.T.S.



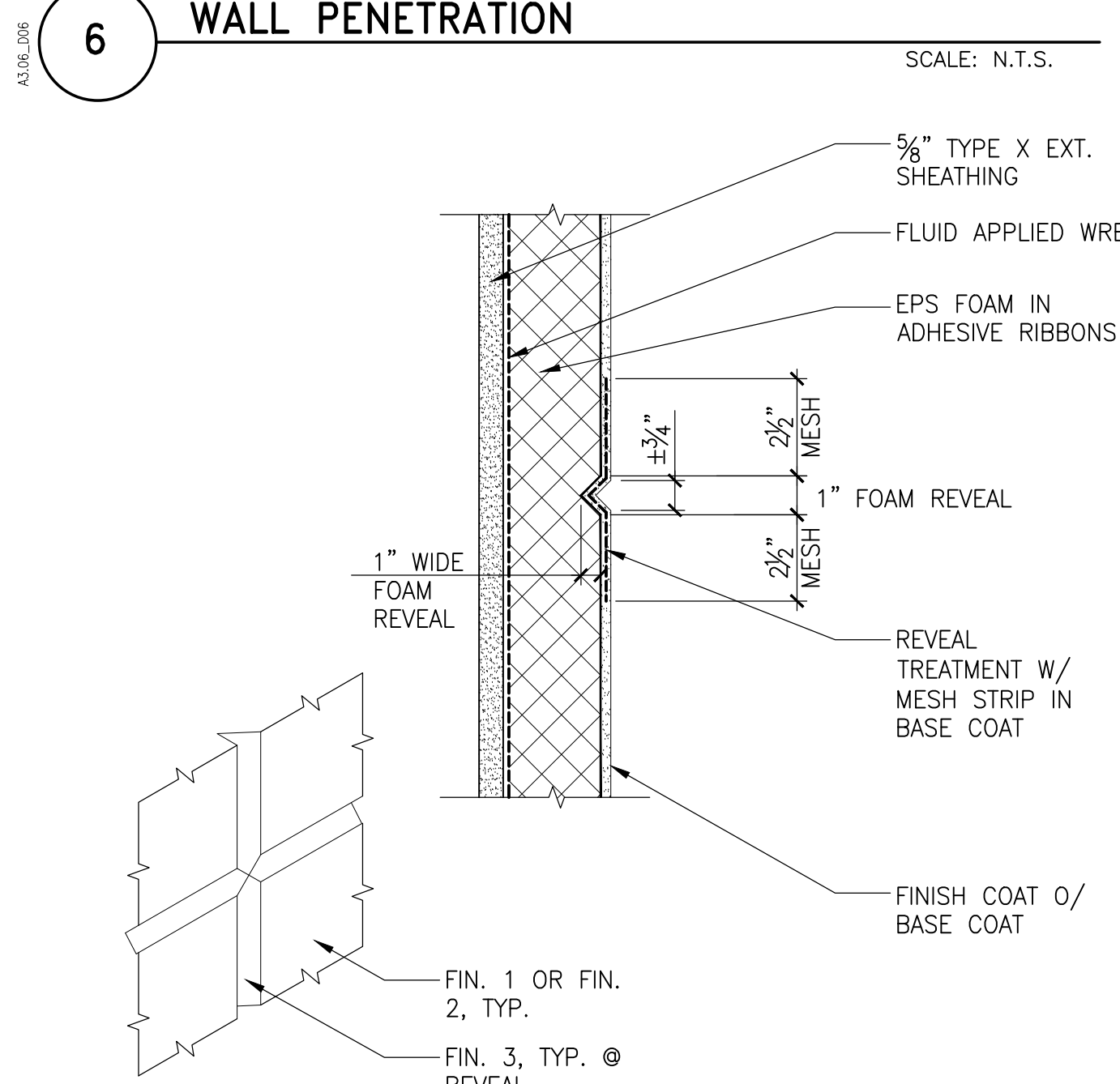
**6 WALL PENETRATION** SCALE: N.T.S.



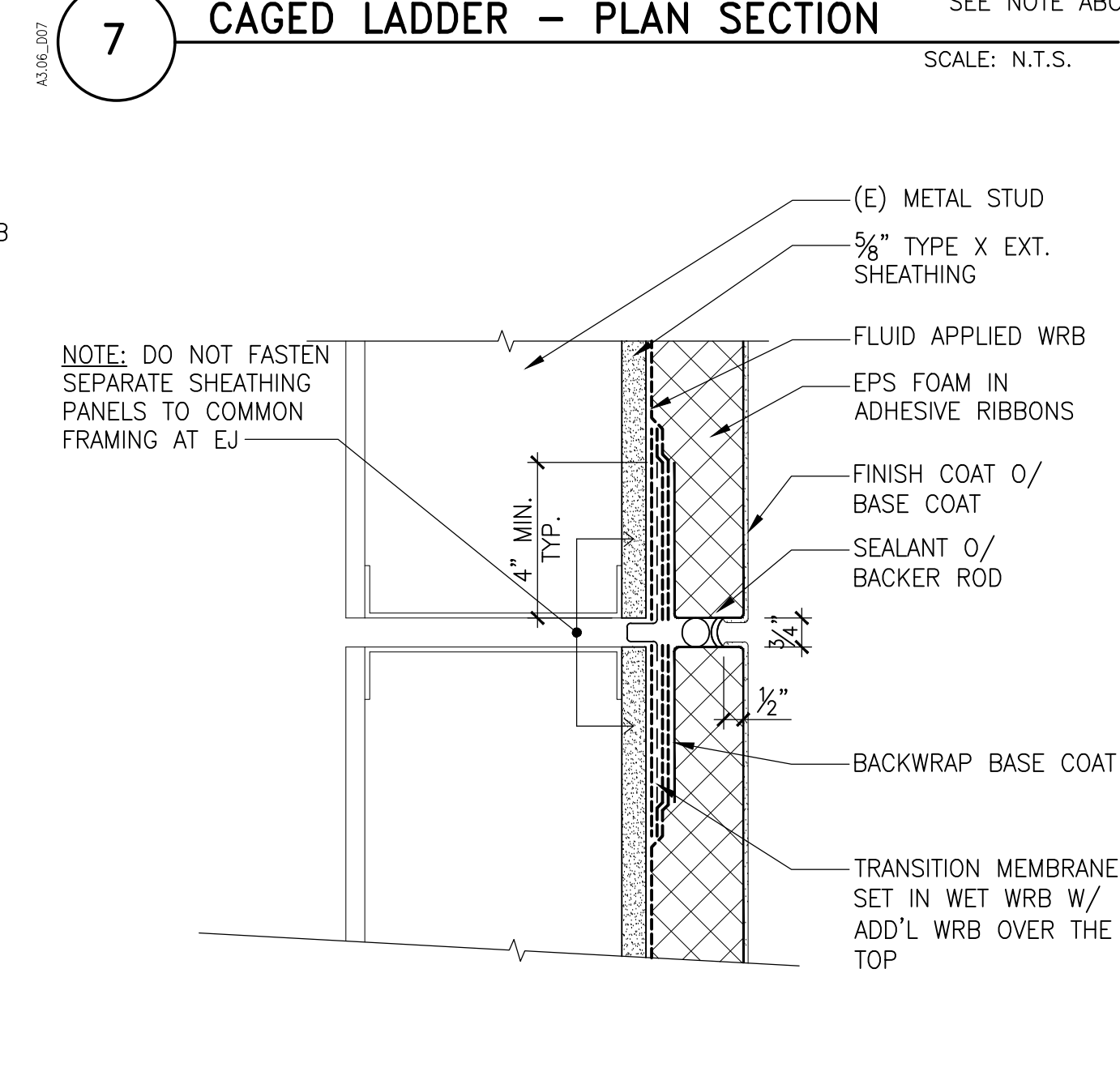
**7 CAGED LADDER - PLAN SECTION** SCALE: N.T.S.



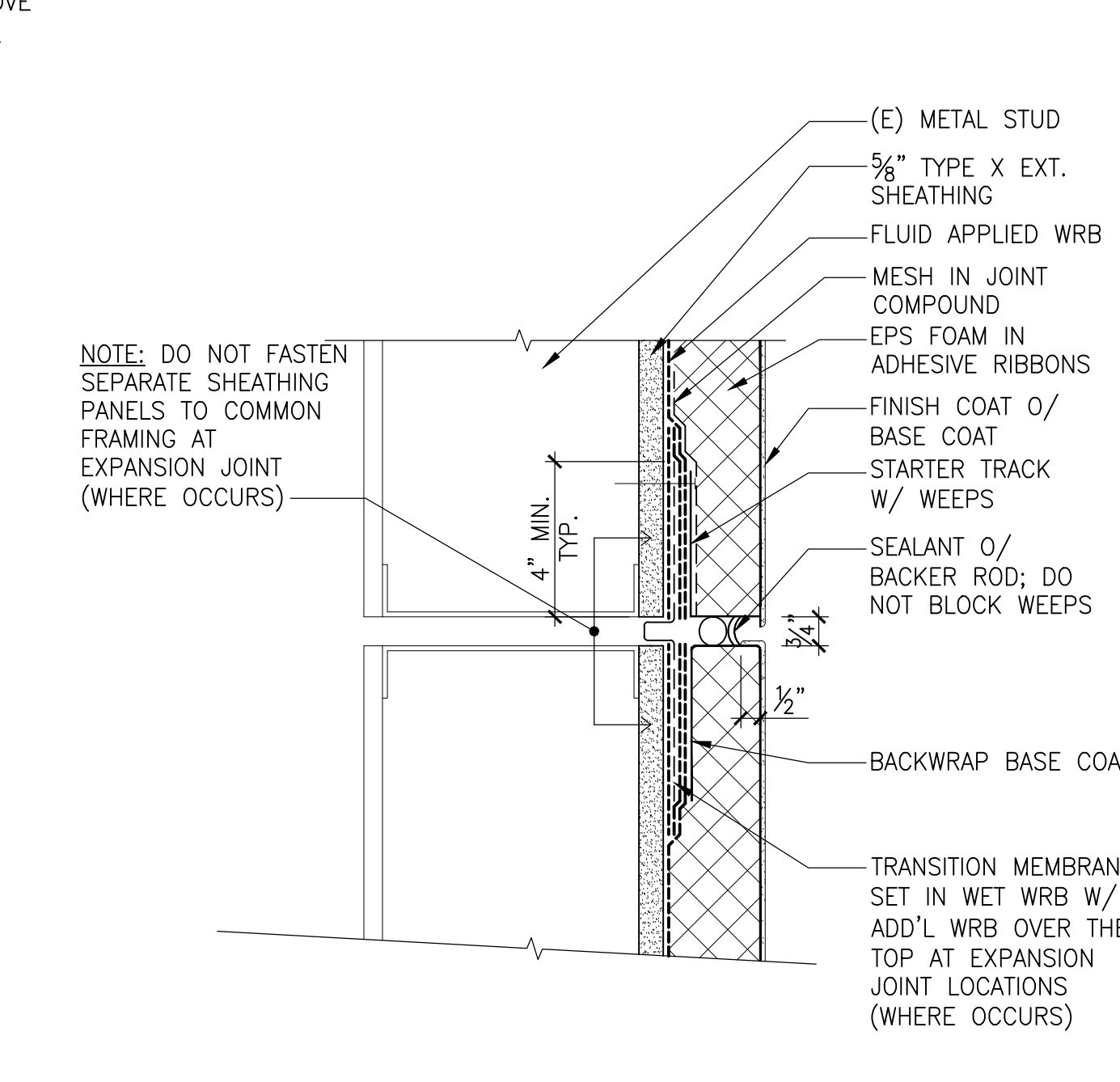
**9 TYP. WALL PENETRATION, SMALL** SCALE: N.T.S.



**10 TYP. HORIZ. REVEAL (VERT., SIM.)** SCALE: N.T.S.



**11 TYP. VERT. EXPANSION JOINT PLAN SECTION** SCALE: N.T.S.



**12 TYP. FLOOR LINE JOINT** SCALE: N.T.S.

No.	Date	Description	By
0	03/25/16	90% Progress Print for Owner Review	ALH
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3	11/20/17	Bid Set	ALH
01/30/18		Prebid RFI #1	ALH

**EIFS EXTERIOR WALL REPLACEMENT**  
**EDMUND D. EDELMAN CHILDREN'S COURT**  
201 CENTRE PLAZA DRIVE  
MONTEREY PARK, CA 91754

**EXTERIOR WALL DETAILS**

Project 158008.01	Checked RNU	Date 01/30/18
Drawn PA	Approved ALH	Scale AS NOTED

Drawing No.  
**A3.06**

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