

Attachment B

Building Information

Renovation and Addition to Juvenile Justice Center

Superior Court of California

County of San Joaquin



ADMINISTRATIVE OFFICE
OF THE COURTS

JUDICIAL AND COURT OPERATIONS
SERVICES DIVISION

JUDICIAL BRANCH CAPITAL PROGRAM OFFICE

1.0 Project Description

The Project consists of ADA path of travel improvements, renovating existing court support space, and adding one courtroom to the existing San Joaquin County Juvenile Justice Center located at 575 West Mathews Road French Camp, California.

The project includes a new one-courtroom addition of approximately 4,000 building gross square feet (BGSF), and renovation of ancillary public spaces in the existing, occupied, and secure County owned juvenile detention facility.

Complete electrical, mechanical, plumbing, AV, access control, IT, CCTV and security systems shall be installed. AOC will generally be responsible for furniture fixtures and equipment (FFE) but will require contractor to coordinate power and data service that may serve the FFE. Some of the FFE such as modular furniture will be delivered during the construction duration for contractor to install power and data cabling, if applicable. Contractor will need to coordinate with public utilities to provide new/additional/temporary services to the project. The project does not have any prescribed LEED achievement goals.

It is the intention of the AOC to begin construction in fall 2013, and achieve final completion in 10 months. The main telecommunication distribution room will need to be operational prior to construction completion to allow network system and building equipment start up and testing.

The AOC may enlist the services of a Construction Manager to assist during the construction of the renovation and addition in schedule evaluation, document management, issue tracking, meeting facilitation, and other tasks.

The AOC's Estimate of the Value of Construction of this Project is approximately \$2,487,000.

The building is owned and operated by San Joaquin County; however, the State of California is the project sponsor and will manage and pay the cost of construction. Building permits are issued by San Joaquin County. There is no involvement by the California SFM or due to the building ownership and there is no involvement by Board of State and Community Corrections (BSCC) since no new holding cells are being constructed.

The project will be insured under the terms and conditions of an Owner Controlled Insurance Program (OCIP).

See below for plans, sections and elevations.



ANOV A
ARCHITECTURAL
NEXUS

A

B

C

D

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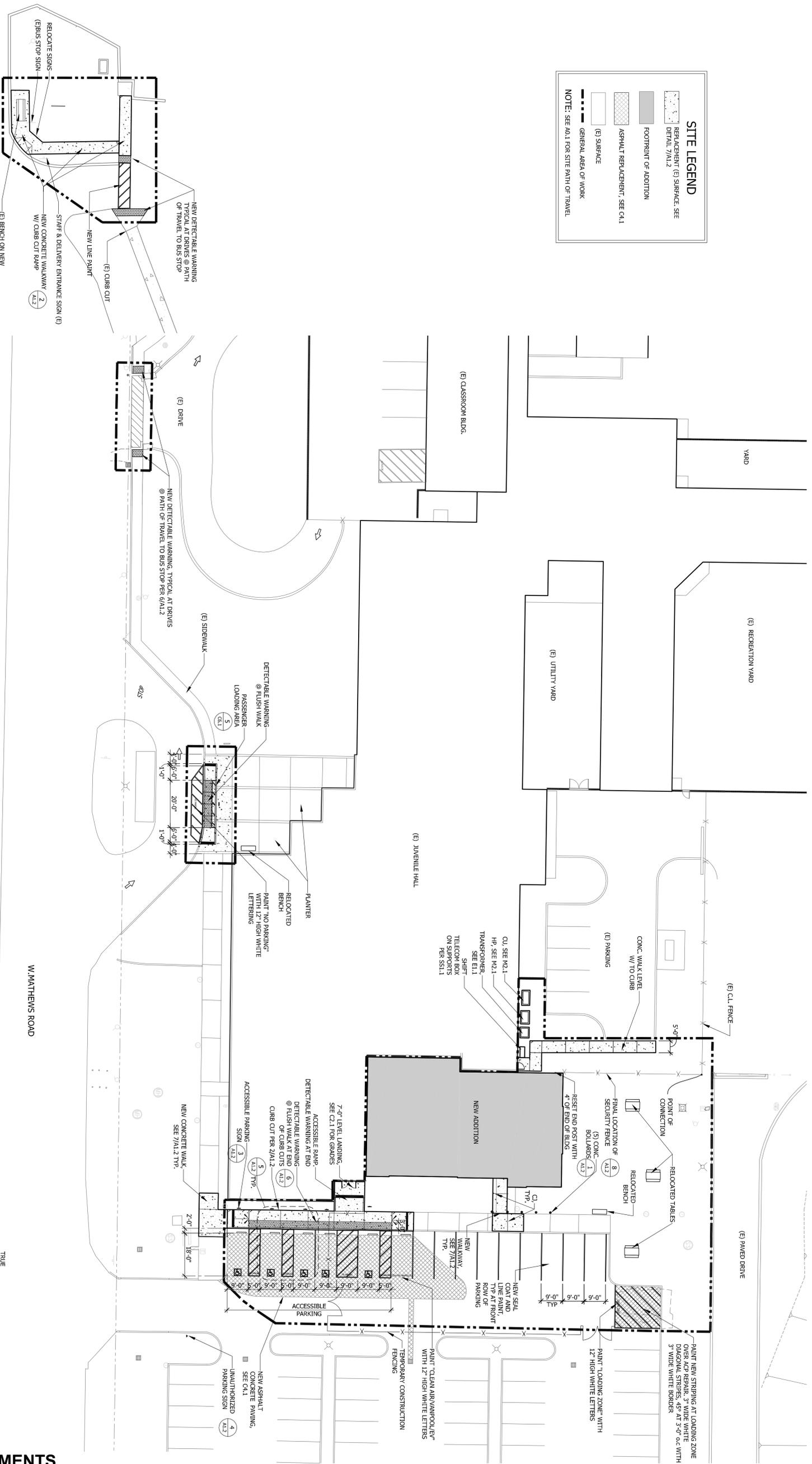
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SITE LEGEND

- REPLACEMENT (E) SURFACE: SEE DETAIL 7/A1.2
- FOOTPRINT OF ADDITION
- ASPHALT REPLACEMENT: SEE C4.1
- (E) SURFACE
- GENERAL AREA OF WORK

NOTE: SEE A1.1 FOR SITE PATH OF TRAVEL.



2 ENLARGED PEDESTRIAN ACCESS SITE PLAN
 A1.1 1"=20'-0"

1 ENLARGED SITE PLAN
 A1.1 1"=20'-0"



CONSTRUCTION DOCUMENTS

ENLARGED SITE PLAN

SHEET CONTENTS:

DRAWN BY:	TL
DATE:	09/10/2012
CHECKED BY:	DS
PROJECT #:	0A11018

REVISIONS

NO.	DESCRIPTION	DATE

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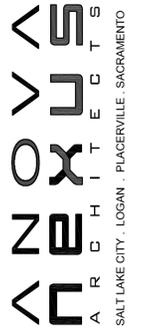
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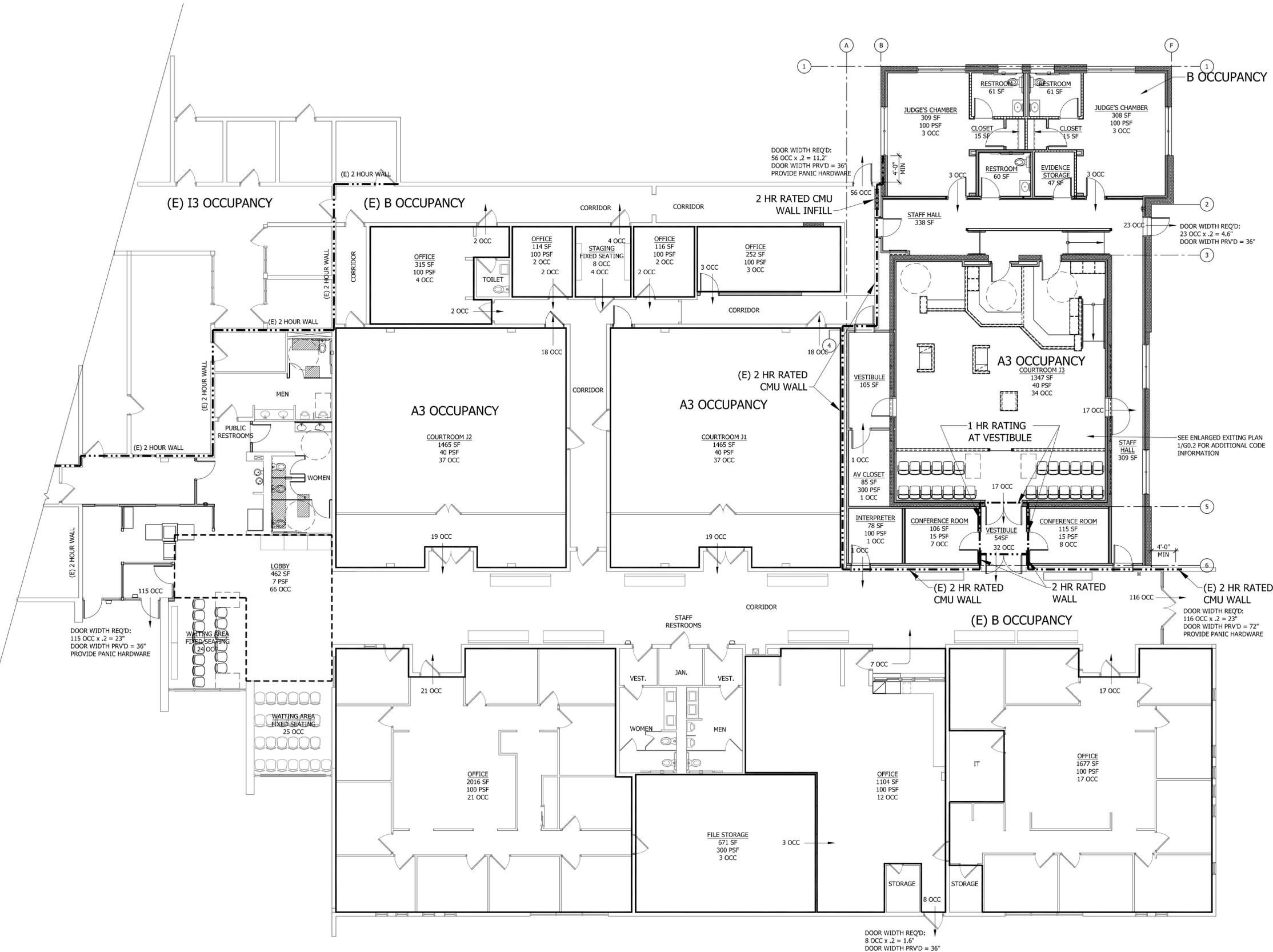
NEXUS PROJECT #: 0A11018
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SHEET CONTENTS:
CODE SHEET

G0.1

1 FLOOR PLAN- EXITING AND OCCUPANCY
G0.1 1/8" = 1'-0"

9/6/2012 3:00:28 PM



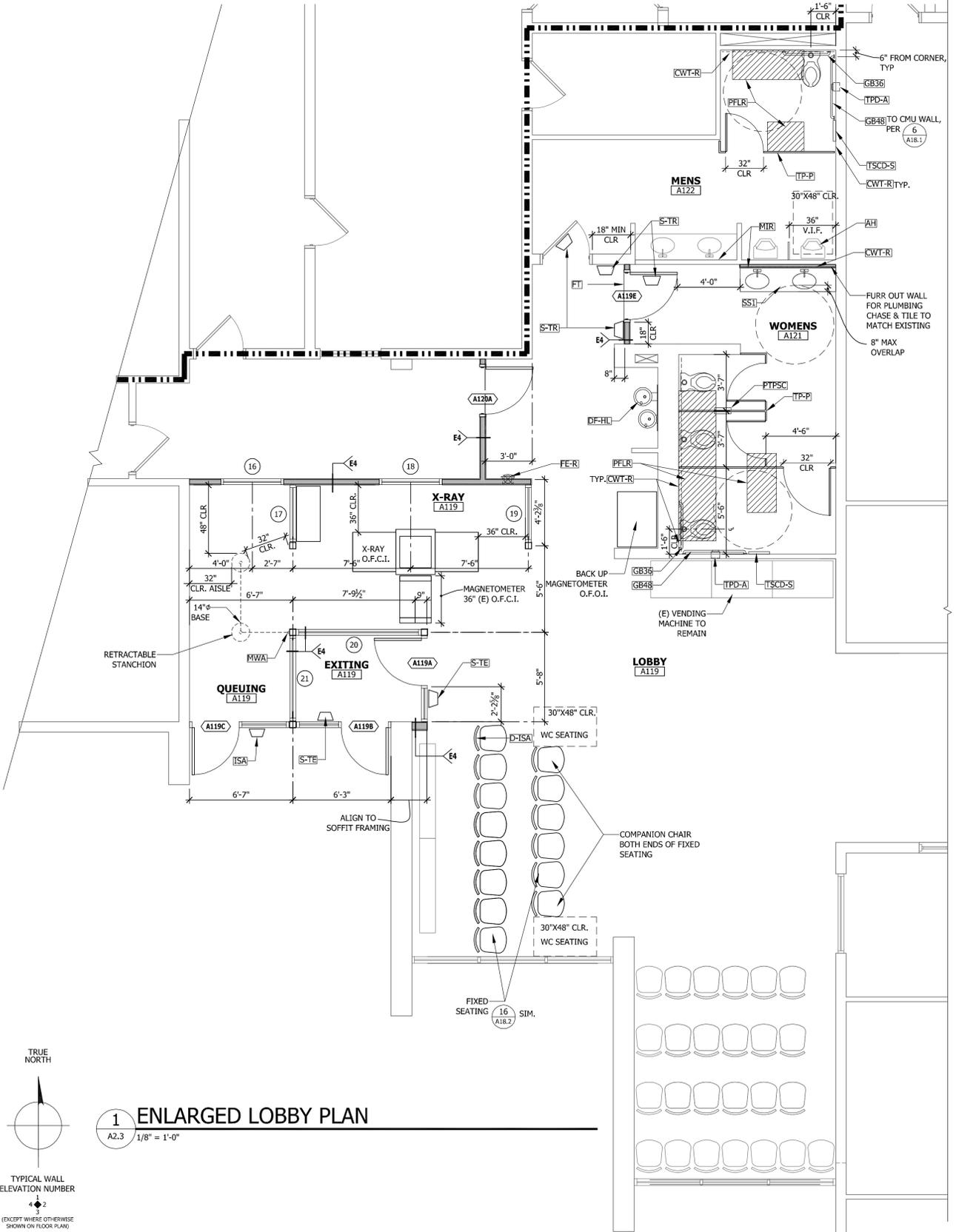
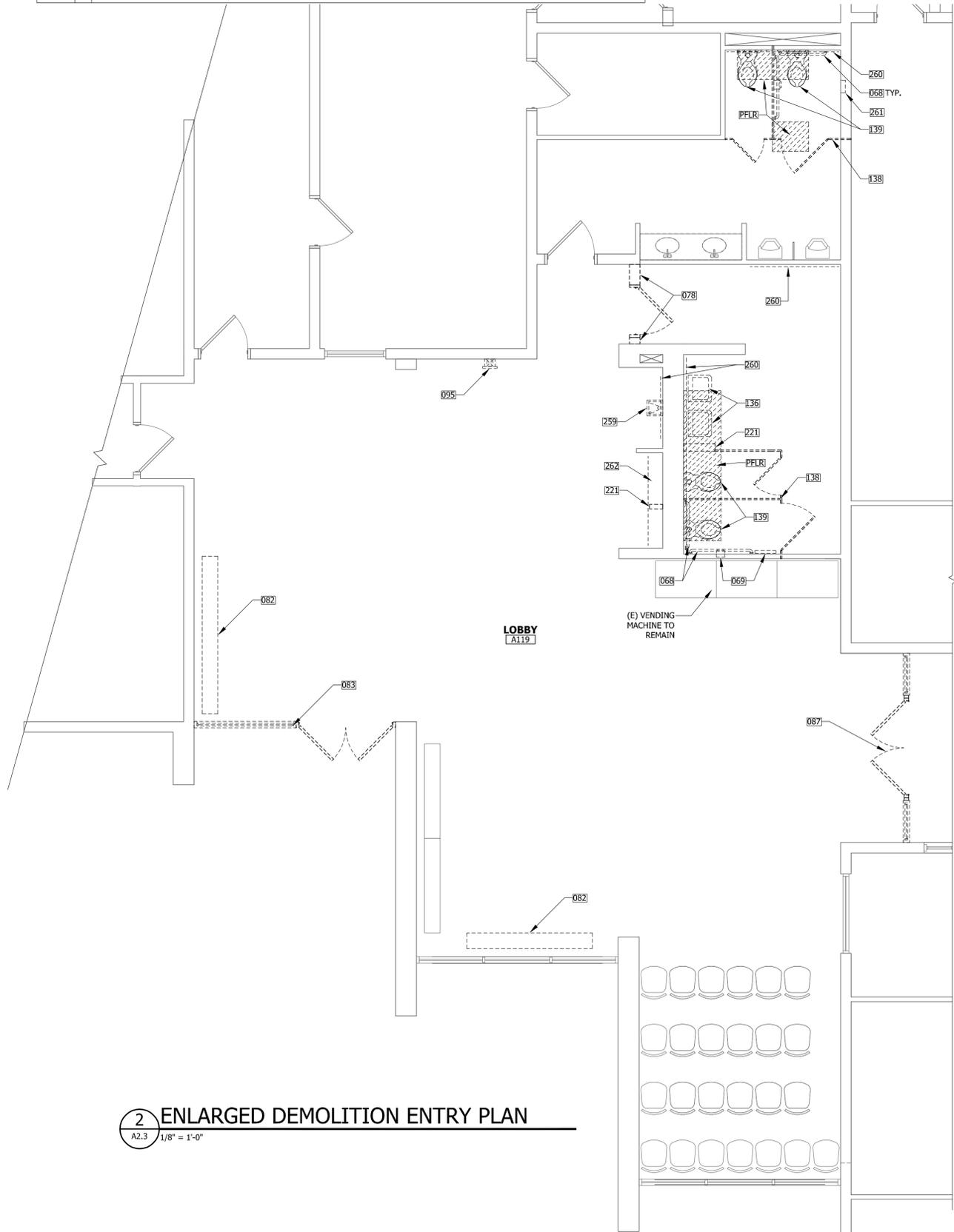
--- 2 HR RATED FIRE WALL
- - - 1 HR RATED FIRE PARTITION

CONSTRUCTION DOCUMENTS

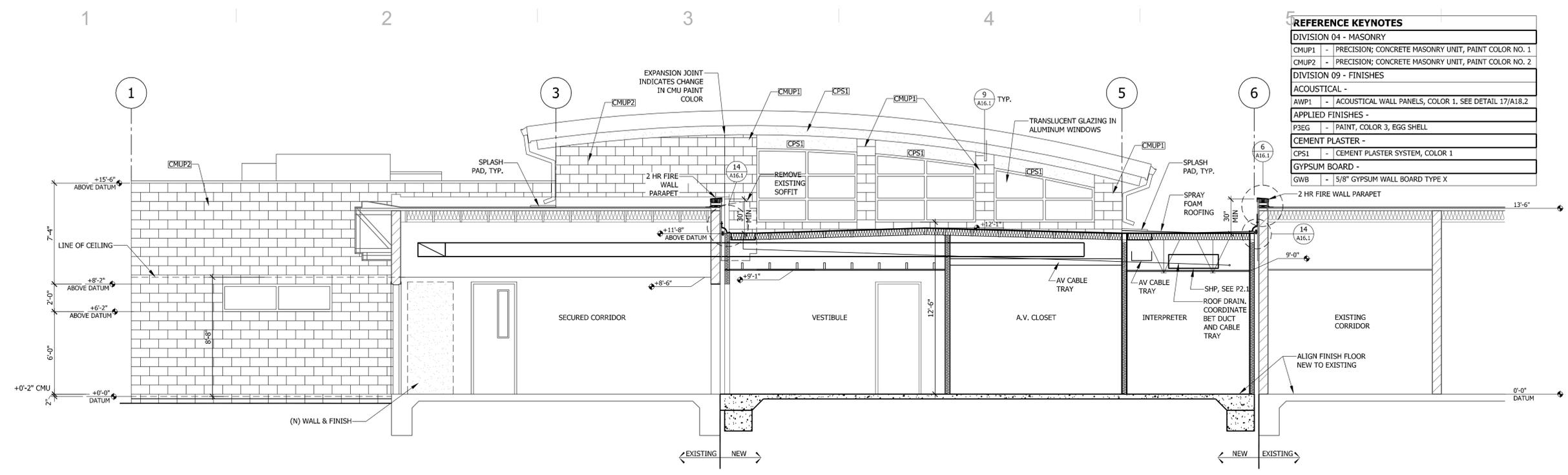
REFERENCE KEYNOTES	
DIVISION 02 - DEMOLITION	
068	- GRAB BAR TO REMOVE & SALVAGE
069	- REMOVE EXISTING ACCESSORIES & SALVAGE AS REQUIRED
078	- REMOVE EXISTING WALL AND DOOR. PATCH FLOOR, WALL AND CEILING TO MATCH (E)
082	- REMOVE EXISTING BENCH. PATCH FLOOR AS REQUIRED - SALVAGE FOR REUSE
083	- REMOVE EXISTING STOREFRONT FROM FLOOR TO BOTTOM OF TRANSOM MULLION. TRANSOM TO REMAIN. MAINTAIN COURT SECURITY @ ALL TIMES. ALSO MAINTAIN PUBLIC ACCESS DURING BUSINESS HOURS.
087	- REMOVE EXISTING STOREFRONT AND PATCH FLOOR, WALL AND CEILING AS REQUIRED. MAINTAIN COURT SECURITY @ ALL TIMES. ALSO MAINTAIN PUBLIC ACCESS DURING BUSINESS HOURS.
095	- REMOVE EXISTING FIRE EXTINGUISHER AND HARDWARE
136	- REMOVE EXISTING LAVATORY, COORDINATE W/ PLUMBING DWGS FOR CAPPING UTILITIES
138	- REMOVE EXISTING TOILET PARTITION
139	- REMOVE EXISTING WATER CLOSET, COORDINATE W/ PLUMBING DWGS FOR CAPPING
221	- REMOVE EXISTING WALL(S). PATCH FLOOR, WALL AND CEILING
259	- REMOVE EXISTING DRINKING FOUNTAIN. CAP UTILITIES PER PLUMBING DWGS.
260	- REMOVE TILES AND SUBSTRATE AS REQD TO INSTALL PLUMBING

261	- PROVIDE INSET/FRAMED FOR RECESS TOILET ACCESSORIES
262	- REMOVE EXISTING TELEPHONE COUNTERS, PATCH WALL
DIVISION 06 - WOOD AND PLASTICS	
CASEWORK -	
SS1	- TILED COUNTERTOP
DIVISION 09 - FINISHES	
FLOORING -	
FT	- FLOORING TRANSITION FROM EXISTING TO NEW FINISHES
PFLR	- PATCH CONCRETE SLAB & TILE FLOORING AT PLUMBING ACCESS & PARTION SUPPORT CHANGES
TILE -	
CWT-R	- REPAIR WALL CERAMIC TILE AS REQUIRED
DIVISION 10 - SPECIALTIES	
D-ISA	- DESIGNATED AISLE SIT W/ ISA SIGNAGE
FE-R	- FIRE EXTINGUISHER IN RECESSED CABINET
ISA	- INTERNATIONAL SYMBOL OF ACCESSIBILITY; SEE DETAIL 14/A18.1

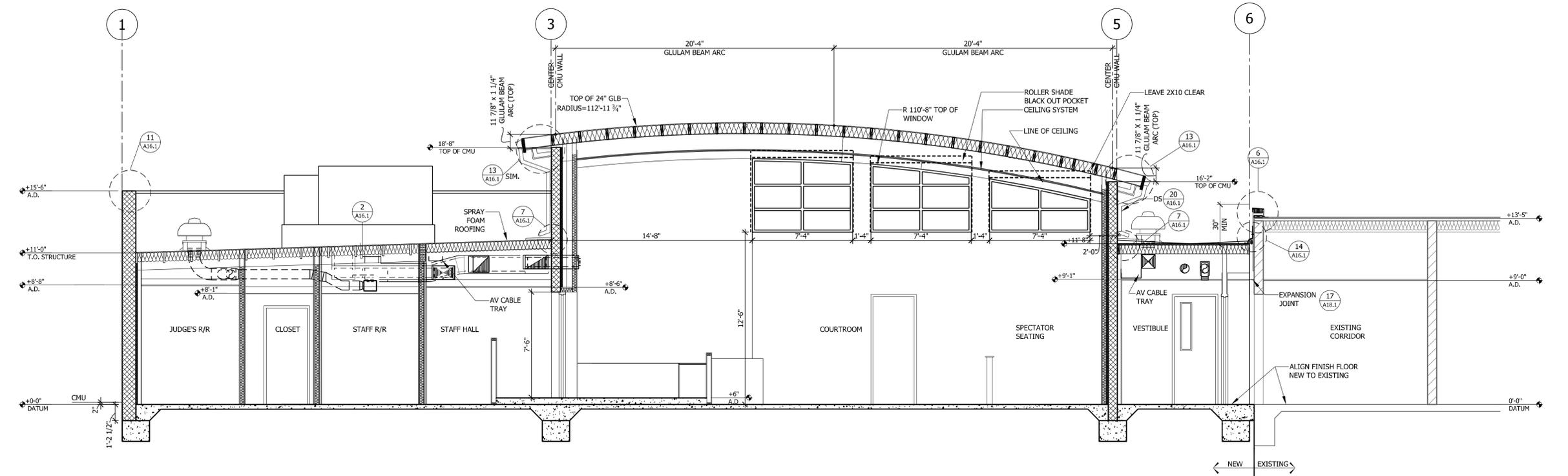
PTPSC	- TOILET PARTITION MOUNTED TOILET PAPER & SEAT COVER DISPENSER
S-TE	- SIGN "EXIT ONLY"; SEE DETAIL 20/A18.1
S-TR	- TOILET ROOM SIGNAGE PER 11 & 12/A18.1
TP-P	- TOILET PARTITION
TOILET ACCESSORIES -	
AH	- EXISTING ACCESSIBLE HEIGHT
GB36	- 36" x 1 1/2" DIA GRAB BAR; SEE DETAIL 5/A18.1 FOR ANCHORAGE.
GB48	- 48" x 1 1/2" DIA GRAB BAR; SEE DETAIL 5/A18.1 FOR ANCHORAGE.
MIR	- FULL HEIGHT & LENGTH MIRROR
TPD-A	- TOILET TISSUE DISPENSER, ACCESSIBLE
TSCD-S	- TOILET SEAT COVER DISPENSER, SURFACE MOUNTED
DIVISION 11 - EQUIPMENT	
MWA	- MAGNETIC WALL ATTACHMENT
DIVISION 15 - MECHANICAL	
DF-HL	- DRINKING FOUNTAIN, HIGH/LOW



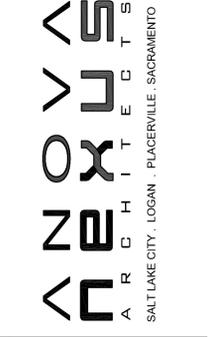
REFERENCE KEYNOTES	
DIVISION 04 - MASONRY	
CMUP1	- PRECISION; CONCRETE MASONRY UNIT, PAINT COLOR NO. 1
CMUP2	- PRECISION; CONCRETE MASONRY UNIT, PAINT COLOR NO. 2
DIVISION 09 - FINISHES	
ACOUSTICAL -	
AWP1	- ACOUSTICAL WALL PANELS, COLOR 1. SEE DETAIL 17/A18.2
APPLIED FINISHES -	
P3EG	- PAINT, COLOR 3, EGG SHELL
CEMENT PLASTER -	
CPS1	- CEMENT PLASTER SYSTEM, COLOR 1
GYPSUM BOARD -	
GWB	- 5/8" GYPSUM WALL BOARD TYPE X



A SECTION A AND WEST ELEVATION
A4.1 1/4"=1'-0"



B SECTION B
A4.1 1/4"=1'-0"



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REVISIONS	

NEXUS PROJECT #: 0A11018
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DRAWN BY: TL
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SHEET CONTENTS:
BUILDING SECTIONS

A4.1

CONSTRUCTION DOCUMENTS

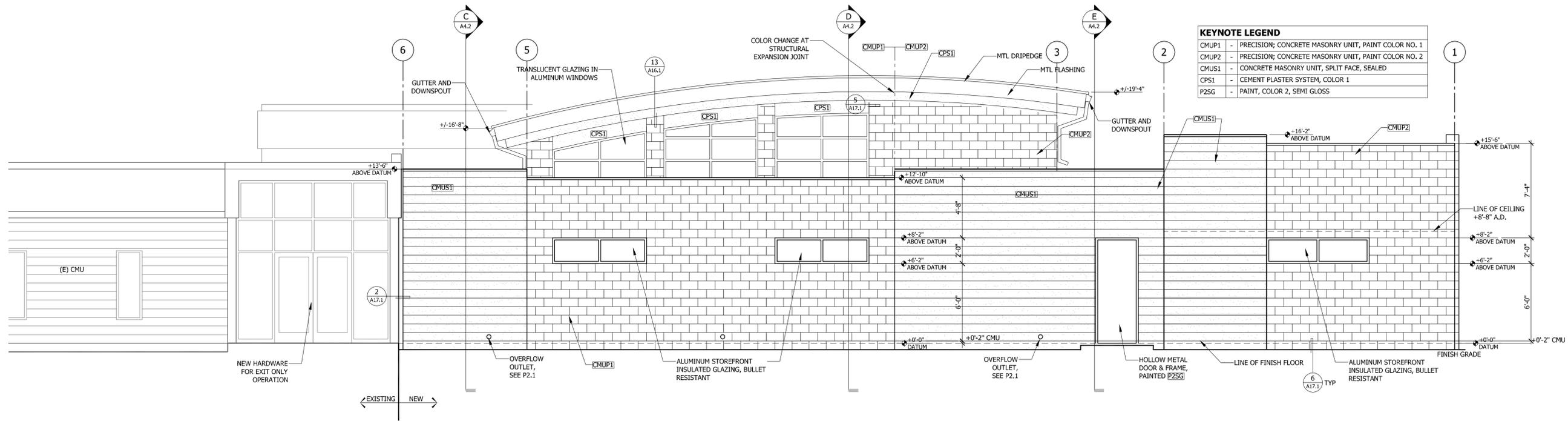
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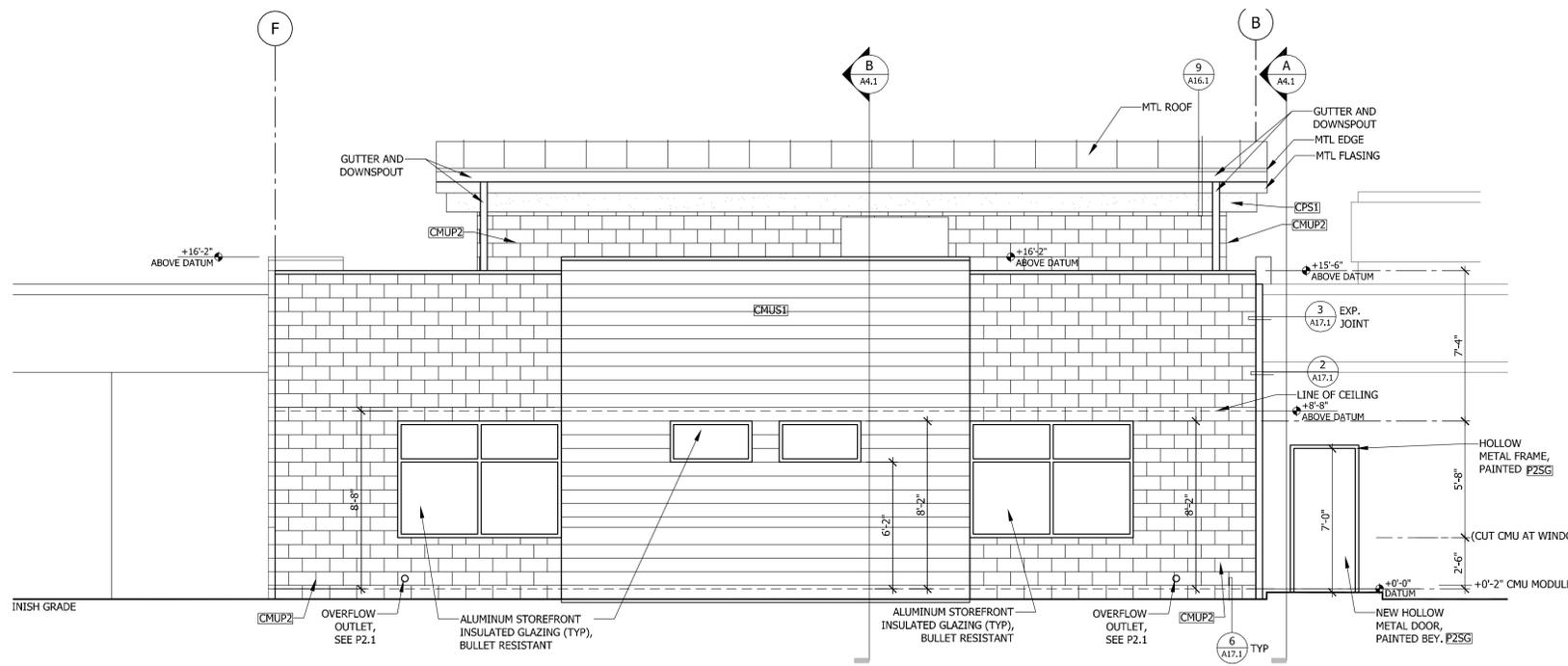
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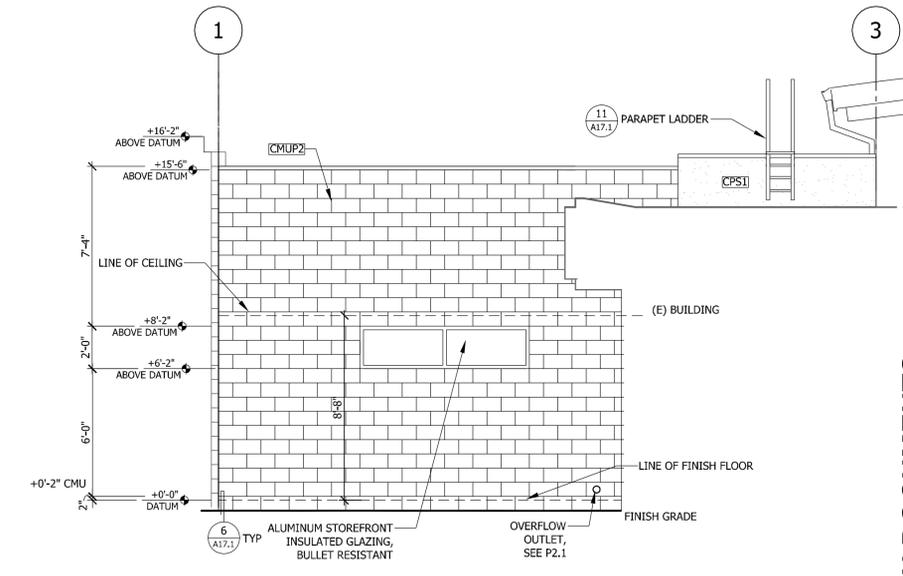
KEYNOTE LEGEND

CMUP1	- PRECISION; CONCRETE MASONRY UNIT, PAINT COLOR NO. 1
CMUP2	- PRECISION; CONCRETE MASONRY UNIT, PAINT COLOR NO. 2
CMUS1	- CONCRETE MASONRY UNIT, SPLIT FACE, SEALED
CPS1	- CEMENT PLASTER SYSTEM, COLOR 1
P2SG	- PAINT, COLOR 2, SEMI GLOSS

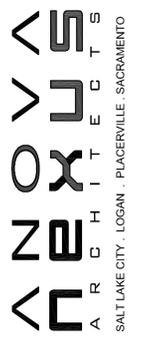
1 EXTERIOR ELEVATION - EAST
A7.1 1/4"=1'-0"



2 EXTERIOR ELEVATION - NORTH
A7.1 1/4"=1'-0"



3 EXTERIOR ELEVATION WEST
A7.1 1/4"=1'-0"
SEE A4.1 FOR FURTHER INFORMATION



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SHEET CONTENTS:
EXTERIOR ELEVATIONS

A7.1

CONSTRUCTION DOCUMENTS